

MINUTES OF THE THIRTY FIRST MEETING OF THE COMMITTEE OF CREDITORS (“COC”) IN THE MATTER OF M/S ANSAL PROPERTIES & INFRASTRUCTURE LIMITED (FERNHILL PROJECT, GURUGRAM) HELD ON 24TH OCTOBER, 2024 AT 12:30 P.M. THROUGH VIRTUAL MODE

PRESENT IN THE MEETING

A. RESOLUTION PROFESSIONAL & TEAM

NAME	DESIGNATION	MODE OF PRESENCE
Mr. Jalesh Kumar Grover	Resolution Professional/ Chairman	Virtual
Ms. Oshin	Team Members of RP	Virtual
Mr. Vickey		

B. FINANCIAL CREDITORS

Sr No.	NAME OF FINANCIAL CREDITOR	REPRESENTED BY	MODE OF PRESENCE
1.	Authorized Representative of Home Buyers	Mr. Pankaj Arora	Audio visual
2.	Rajeev Bhatia (Flat no. N/0103)	Self	Audio visual
3.	Vinay Mittal (Flat no. L/0302)	Self	Audio visual
4.	Ramesh Kochar (Flat no. K/0404)	Self	Audio visual
5.	Rakesh Prasher (Flat no. M/0102)	Self	Audio visual
6.	Bibhuti Bhushan Biswas	Self	Audio visual

	(Flat no. D/0702)		
7.	Munish Abrol (Flat no. B/1101)	Self	Audio visual
8.	Arvind Bhatia (Flat no. G/0602)	Self	Audio visual
9.	Narendra (Flat no. C/0601)	Self	Audio visual
10.	Mrs. Raj rana (Flat no. GH/026)	Mr. Manish rana	Audio visual
11.	Pritam Pal (Flat no. P/0301)	Self	Audio visual
12.	Anil Kumar Bajaj (Flat no. M/0701)	Self	Audio visual
13.	Neeraj Mehta (Flat no. J/0603)	Self	Audio visual
14.	Saurabh Gandhi (Flat no.-K/704)	Self	Audio visual
15.	Nitin Gupta (Flat no. F/0503)	Self	Audio visual
16.	Gopal Pathak (Flat no. E/12A02)	Self	Audio visual
17.	Naveen Gupta (Flat no. GH/021)	Self	Audio visual
18.	Sameer Sharma (Flat no. D/0901)	Self	Audio visual
19.	Chander Parkash (Flat no. D/0601)	Self	Audio visual
20.	Seema Gupta (Flat no. B/1103)	Self	Audio visual
21.	Saurabh Gupta (Flat no. K/1004)	Self	Audio visual

22.	S.S Chauhan (Flat no. N/1102)	Self	Audio visual
23.	Ashish Mehra	Self	Audio visual
24.	Supriya Sinha	Self	Audio visual
25.	Yogesh	Self	Audio visual
26.	Satbir	Self	Audio visual
27.	Anil Kumar	Self	Audio visual
28.	Shweta	Self	Audio visual
29.	Dhanya	Self	Audio visual

C. OPERATIONAL CREDITORS IF AGGREGATE DUES ARE ATLEAST 10% OF THE TOTAL DEBT: Not Applicable.

D. SUSPENDED BOARD OF DIRECTORS OF ANSAL PROPERTIES & INFRASTRUCTURE LIMITED (FERNHILL PROJECT, GURUGRAM) ('CD')

NAME	DESIGNATION	MODE OF PRESENCE
Mr. Pranav Ansal	Director <i>(Whole-Time Director)</i>	Absent
Mr. Deepak Mowar	Director <i>(Additional Director)</i>	Absent
Mr. Binay Kumar Singh	Director <i>(Additional Director)</i>	Absent
Mr. Sunil Kumar Gupta	Director <i>(Independent Director)</i>	Absent
Ms. Francette Patricia	Director <i>(Additional Director)</i>	Absent

POST NOTICE EVENT

1. The notice of the 31st meeting of CoC was sent 2 days prior to the CoC meeting by electronic means at the Email id of the Authorized Representative of Home Buyers and Directors (Powers

Suspended) of Corporate Debtor, as per the record handed over by the Erstwhile RP.

2. The Authorized Representative of Home Buyers was also informed by the team of Resolution Professional about the 31st CoC meeting telephonically to ensure receipt of notice and also took confirmation for their participation.
3. The notice was sent to the Directors (Powers Suspended) of corporate debtor at their email ids available on the MCA portal.
4. The link to attend the meeting was shared with Authorized Representative of Home Buyers and Directors (Powers Suspended) of Corporate Debtor on 23.10.2024.

CONDUCT OF THE MEETING

The meeting started at around 12:30 P.M. Approximately Twenty- Eight (28) Homebuyers virtually joined the COC meeting, however despite multiple requests from the RP, certain homebuyers did not mention their name along with details of their respective units. Further, Mr. Pankaj Arora (Authorized Representative of Home Buyers) also participated virtually.

The RP and his team attended the meeting physically from Chandigarh Office. Further, two team members of the RP attended the meeting virtually i.e., through audio-video conferencing. The attendance of the participants who were present in the meeting was marked by the team members of RP, who attended the meeting.

Mr. Jalesh Kumar Grover, Resolution Professional of M/s Ansal Properties & Infrastructure Limited (Fernhill Project, Gurugram), for conducting its Insolvency Resolution Process took the chair and the meeting was called to order.

1. The Chairperson took the roll call of all the participants attending the meeting and announced their name, the name of the members of COC whom they were representing, and a confirmation was taken from every participant that they have received the agenda and notice of the meeting.
2. The Chairperson informed the participants that the required quorum is complete and meeting can be proceeded with and also informed the participants that the meeting shall have the

presence of quorum throughout the meeting.

3. The Chairperson also informed the participants that as per Regulation 25(5) of IBBI (Insolvency Resolution Process of Corporate Persons) Regulations, 2016. The resolution professional shall:

(a.) Circulate the minutes of the meeting by electronic means to all members of the committee and the authorized representative, if any, within forty-eight hours of the conclusion of the meeting; and

(b.) Seek a vote of the members who did not vote at the meeting on the matters listed for voting, by electronic voting system in accordance with Regulation 26 where the voting shall be kept open from the circulation of the minutes, for such time as decided by the committee which shall not be

(c.) less than twenty-four hours and shall not exceed seven days:

Provided that on a request for extension made by a creditor, the voting window shall be extended in increments of twenty-four hours period:

Provided further that the Resolution Professional shall not extend the voting window where the matters listed for voting have already received the requisite majority vote and one extension has been given after the receipt of requisite majority vote.

(d.) As per Regulation 25 (6) of the Insolvency and Bankruptcy Board of India (Insolvency Resolution Process for Corporate Persons) Regulations 2016, the Authorised Representative shall circulate the minutes of the meeting received under sub-regulation (5) to creditors in a class and announce the voting window at least twenty-four hours before the window opens for voting instructions and keep the voting window open for at least twelve hours.

MATTERS DISCUSSED/NOTED FOR INFORMATION

AGENDA ITEM NO.31.01

THE RESOLUTION PROFESSIONAL TO TAKE CHAIR OF THE MEETING AS PER REGULATION 24 OF THE IBBI (CIRP) REGULATIONS, 2016

Mr. Jalesh Kumar Grover, having registration number IBBI/IPA-001/IP-P00200/2017-2018/10390 was appointed as Resolution Professional ('RP') in the matter of M/s Ansal Properties and Infrastructure Limited (Fernhill Project, Gurugram) by the Hon'ble NCLT, New Delhi Bench, Court-II vide its order dated 10.01.2024.

In accordance with Regulation 24 of the Insolvency and Bankruptcy Board of India (Insolvency Resolution Process for Corporate Persons) Regulations, 2016, Mr. Jalesh Kumar Grover, Resolution Professional of M/s Ansal Properties and Infrastructure Limited (Fernhill Project, Gurugram) took the Chair as Chairperson and the meeting was called to order.

AGENDA ITEM NO. 31.02

TO ASCERTAIN THE QUORUM OF THE MEETING AS PER REGULATION 22 OF IBBI (CIRP) REGULATIONS, 2016

The Chairman apprised the committee that as per Regulation 22(1) of the Insolvency and Bankruptcy Board of India (Insolvency Resolution Process for Corporate Persons) Regulations, 2016, the quorum for the meeting of the committee of creditors is achieved if members of the committee representing at least 33% of the voting rights are present either in person or by video conferencing or other audio-visual means; provided that the committee may modify the percentage of voting rights required for quorum in respect of any future meetings of the committee.

Pursuant to the above provisions, the Chairman ascertained that the requisite quorum is present as Mr. Pankaj Arora, Authorized Representatives of the allottees having 100% voting rights in the COC, is present at the meeting and accordingly, the COC meeting was declared open.

AGENDA ITEM NO. 31.03

TO GRANT LEAVE OF ABSENCE TO THE MEMBERS, IF ANY

The Chairman apprised that no request for grant of leave has been received by the RP. Hence, no leave of absence was granted to any member/participant. The Chairman further apprised that the Directors (powers suspended) of the CD did not attend the meeting/ never attended the meeting, in spite of due service of notices to them.

The Committee took note of the same.

AGENDA ITEM NO. 31.04

TO APPROVE AND CONFIRM THE MINUTES OF THE 30TH COC MEETING HELD ON 12TH SEPTEMBER, 2024 AT 12:30 PM.

The Chairman apprised the committee that the minutes of the thirtieth COC meeting held on 12.09.2024 as approved by the RP had been circulated to all the participants electronically within 48 hours of the meeting in accordance with Regulation 24 sub-regulation (7) of the IBBI (CIRP) Regulations, 2016. A copy of the minutes of the 30th COC meeting had already been attached with the notice of the instant meeting as Annexure-31.04.01.

The Chairman requested the committee to share their observations, if any, on the minutes of the 30th COC meeting dated 12.09.2024. No observations were received from any member or from the AR of Home Buyers, in this regard.

Accordingly, the minutes of the 30th COC meeting held on 12.09.2024 stood approved by the members of the committee.

AGENDA ITEM NO-31.05

TO APPRISE THE COMMITTEE REGARDING THE STATUS OF ONGOING LITIGATIONS

The Chairman apprised the COC members regarding the status of ongoing litigations in the matter of M/s Ansal Properties & Infrastructure Limited (Fernhill Project, Gurugram) which are as follows: -

Sr. No.	Case No.	Adjudicating Authority	Description	Status
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1.	IA- 2957/2024	NCLT, Delhi Bench	Application filed by the RP U/s 66 against Piyare Lal Hari Singh Builders Pvt. Ltd	Respondent Nos. 1,3,4,8,16 have been directed to file their reply/ bring them on record and further Respondent Nos. 5 to 7 have been set as ex-parte. Matter now listed for hearing on 21.11.2024
2.	IA- 3022/2024	NCLT, Delhi Bench	Application filed by the RP U/s 66 against Samyak Projects Pvt. Ltd	Respondent Nos. 1,2,3,5,6,17,19 & 20 have been granted time to file their reply and to bring them on record. Matter now listed for hearing on 21.11.2024
3.	IA - 3245/2024	NCLT, Delhi Bench	Application filed by the RP U/s 43 against Samyak Projects Pvt. Ltd	The Hon'ble Bench is of the view that as per substituted service made with respect to Respondent No. 5, 6 and 9, they have been set ex-parte. Further Respondent No. 1,12,15,17,18,19 & 20 have been directed to file their reply/ bring the same on record, whereas the rest of the Respondents stand proceeded ex-parte. Matter now listed for hearing on 21.11.2024
4.	IA-28/2024	NCLT, Delhi Bench	Application filed by RP under Section 30 (6) for approval of Resolution Plan	The Counsel of RP submitted that the Convenience Proforma has already been filed, the Hon'ble NCLT took note of the same. Matter now listed for hearing on

				21.11.2024
5.	IA 4215/2024	NCLT, Delhi Bench	For Replacement of AR	<p>The counsel of the RP apprised the Hon'ble NCLT that in terms of the directions passed on the last hearing the RP has filed the revised voting sheet by way of an Additional Affidavit. The Hon'ble NCLT after hearing the objections and perusing the additional affidavit was still not convinced and directed the RP to put up the entire resolution with correct particulars once again before the CoC and seek fresh approval.</p> <p>Accordingly, Matter now listed for hearing on 21.11.2024.</p>
6.	IA-3704/2024	NCLT, Delhi Bench	Application filed by one of the claimants, Bharat Chopra seeking to condone the delay of 51 days in filing claim form (Form-CA) and to direct the respondent (RP) to accept the claim (Claim submitted after issuance of RFRP)	<p>The Hon'ble NCLT directed the RP to place on record the judgments opposing said admission of belated claims.</p> <p>Accordingly, Matter now listed for hearing on 21.11.2024.</p>
7.	IA-3730/2024	NCLT, Delhi Bench	Application filed by one of the claimants, Kuldeep Dudeja seeking to condone the delay of 5 days in filing of the claim before the Resolution Professional and set aside the intimation dated	<p>The Hon'ble NCLT directed the RP to place on record the judgments opposing said admission of belated claims.</p> <p>Accordingly, Matter now listed for hearing on 21.11.2024.</p>

			10.06.2024 (Claim submitted after issuance of RFRP)	
8.	IA-3702/2024	NCLT, Delhi Bench	Application filed by one of the claimants, Sunil Kumar Aggarwal seeking to condone the delay of 51 days in filing claim form (Form-CA) and to direct the respondent (RP) to accept the claim (Claim submitted after issuance of RFRP)	The Hon'ble NCLT directed the RP to place on record the judgments opposing said admission of belated claims. Accordingly, Matter now listed for hearing on 21.11.2024.
9.	IA-4008/2024	NCLT, Delhi Bench	Application filed by one of the claimants, Sunita Verma challenging the resolution plan submitted by the SRA.	The Hon'ble NCLT directed the RP to place on record the judgments opposing said admission of belated claims. Accordingly, Matter now listed for hearing on 21.11.2024.
10.	IA-4056/2024	NCLT, Delhi Bench	Application filed by one of the claimants, Mr. Rajeev Gairola seeking direction for the RP to accept the claim of the Applicants as Financial Creditor (Homebuyer) as per the FORM CA filed by the Applicants and include the names of the Applicants in the list of financial creditors (Homebuyer) of the CD i.e., M/s Ansal Properties and Infrastructure Limited.	The Hon'ble NCLT directed the RP to place on record the judgments opposing said admission of belated claims. Accordingly, Matter now listed for hearing on 21.11.2024.
11.	IA- 4171 /2024	NCLT, Delhi Bench	Application filed by one of the claimants,	The Hon'ble NCLT directed the RP to place

			Virender Singh seeking direction for CoC & RP to consider and admit the claim filed by the applicant	on record the judgments opposing said admission of belated claims. Accordingly, Matter now listed for hearing on 21.11.2024.
12.	IA - 4252/ 2024	NCLT, Delhi Bench	Application filed by one of the claimants, Ms. Neerja Mehta seeking direction for RP to accept and take into account the aforesaid claim of the applicant made against the Corporate Debtor.	The Hon'ble NCLT directed the RP to place on record the judgments opposing said admission of belated claims. Accordingly, Matter now listed for hearing on 21.11.2024.
13.	IA - 4460/2024	NCLT, Delhi Bench	Application filed by the Homebuyers for seeking modification of the Resolution Plan to the extent that there is no discrimination between similarly placed home buyers and reduce escalation proposed in the final resolution plan to the escalation proposed in the 19th CoC Meeting held on 06.04.2024	The Hon'ble NCLT directed the RP as well as other Respondents to file their reply. Accordingly, Matter now listed for hearing on 21.11.2024.
14.	I.A. No. 4995/2024	NCLT, Delhi Bench	Application filed by one of the claimants, Mr. Vinod Kumar for consideration of his claim as	During the course of the hearing, the Hon'ble bench was pleased to direct the counsel of RP to file reply. Accordingly, Matter now listed for hearing on 21.11.2024.

15.	I.A No. 1459/ 2023	NCLT, Delhi Bench	Application filed by the Erstwhile RP u/s 19(2) of the Code against Samyak Projects Private Limited & Ansal Properties & Infrastructure Limited seeking direction to assist & co-operate with the Applicant.	During the hearing, Counsel for the respondent requested a Passover, while the Counsel of RP apprised the court that all related applications in this matter are listed for 21.11.2024. Consequently, the case is adjourned to 21.11.2024.
16.	50/2024	NCLAT, Delhi Bench	Appeal filed by M/s Samyak Projects Private Limited against the order dated 06.12.2023, wherein the Hon'ble NCLT directed the appellant to cooperate with the erstwhile Resolution Professional and handover the possession to the erstwhile Resolution Professional.	The matter is remanded back to the Learned Tribunal to decide I.A No. 1459 of 2023 after taking into consideration the reply and rejoinder as well as other evidence brought on record in support and against the case and decide the same as early as possible but preferably within a period of one month from the date of appearance of the parties in this application. The parties are directed to appear before the Hon'ble NCLT Bench on 18.10.2024.
17.	COMI/15/2024	Judicial Magistrate of First Class, Gurugram	Filed by Mr. Ashwini Singla, Erstwhile RP against SamyakProjects Pvt Ltd. under section 200 of Cr. PC to obtain possession of the site.	The Hon'ble Bench is of the view that the police investigation revealed no evidence of occurrence of any cognizable offense, therefore the prayer of the applicant for registration of FIR against the accused persons is considered and dis-

				<p>allowed. Further stated that the case will be registered as a private complaint.</p> <p>The matter is now listed for hearing on 07.12.2024.</p>
18.	OMP(ENF)(COMM) No226 of 2018	High Court of Delhi	Filed By Dayal Hospitality Pvt. Ltd. Against Ansal	<p>The Counsel for Ansal Properties & Infrastructure Ltd (Management), submitted that in terms of order dated 24.02.2023, we have filed an Affidavit updating the status of the NCLT proceedings against the Judgment Debtor. However, our Affidavit was not on record and the matter was re-notified to the next date of hearing i.e., 08.11.2024.</p>
19.		Sole Arbitrator Justice DK Jain	Filed by M/s. Samyak Project Pvt. Ltd against M/S Ansal Properties and Infrastructure Limited (Through Resolution Professional)	<p>Vide order dated 11.09.2024 the Arbitrator refrain to pass any order either accepting or rejecting the Application. Further stated that the Application shall be taken up for consideration as & when the proceedings in the present matter get revived either by operation of law or otherwise.</p>

The committee took note of the same.

AGENDA ITEM NO-31.06

TO TAKE NOTE OF THE REVISED CONSTITUTION OF THE COMMITTEE OF CREDITORS IN THE MATTER

The Chairman apprised the committee that the COC has been reconstituted in the matter due to the following reasons: -

- i. One of the Homebuyers, Mr. Vinod Kumar filed an application bearing IA No. 121 of 2024 praying for admission of his claim, which was submitted before issuance of RFRP and was rejected by the Erstwhile RP Mr. Ashwani Kumar Singla.
- ii. Further, the said application was allowed by the Hon'ble AA directing the RP to take a decision on the claim filed by Mr. Vinod Kumar.
- iii. Subsequently, the said claim was verified by the present RP to the tune of Rs. 19,25,828/- in the category of an 'Unsecured Financial Creditor'.

Accordingly, the COC in the matter of M/s Ansal Properties & Infrastructure Limited (Fernhill Project, Gurugram) stands reconstituted on 26.09.2024 as follows: -

(Amt in Crs.)

Category	No. of claims	Amount Claimed	Amount Verified	Voting Share (%)
Financial Creditors in a class ("Allottees")	594	1020.66	421.48	99.95%
Unsecured Financial Creditor	1	3.19	0.19	0.05%
TOTAL	595	1023.85	421.68	100%

The Resolution Professional informed the Committee of Creditors that the amounts and voting share of the unsecured Financial Creditor were inadvertently included in the column designated for Financial Creditors in a class "Allottees."; however, the same has now been rectified in the aforementioned table.

The Chairman further apprised the committee that the RP has filed an application before the Hon'ble Adjudicating Authority to place on record the reconstituted CoC & updated/revised list of claims of Creditors on 02.10.2024 and the same has been allowed by the Hon'ble NCLT on 14.10.2024.

The committee took note of the same.

AGENDA ITEM NO-31.07

TO DISCUSS REGARDING THE STRUCTURAL AUDIT OF THE PROJECT SITE TO BE CONDUCTED IN THE MATTER OF M/s ANSAL PROPERTIES & INFRASTRUCTURE LIMITED (FERNHILL PROJECT, GURUGRAM)

The Chairman apprised the CoC that as discussed in the previous CoC meeting, the RP had sent mails for inviting quotations from various IITs, for conducting structural audit of the project site. The RP further apprised the CoC that despite sending regular reminder emails, none of the institutions responded, except for IIT Roorkee, which ultimately conveyed that they were not inclined to submit their quotation.

The Chairman further apprised the CoC that the RP shared all the quotations received from the Professionals (registered/empaneled with the DTCP) in respect of Structural audit with the SRA. Following which, the SRA shared a selected structural Auditor quotation with the RP, which was subsequently, shared with the CoC members through their AR via email dated 16.09.2024.

The Chairman clarified before the CoC that the Structural Auditor proposed by the SRA has not been nominated by the RP. The said Auditor has collaborated with the SRA in their other projects and has 25 years of experience and is also empaneled with the DTCP.

Thereafter, the RP requested the AR to seek suggestions from the Homebuyers regarding the selection of the Structural Auditor to conduct the audit of the Project site. Whether they agreed with the auditor chosen by the SRA or had a different preference. If the Homebuyers hold a different view, the matter can be discussed as an agenda item in the next meeting. If there are no objections, the RP shall proceed with the Structural Auditor suggested by the SRA.

Accordingly, copies of the quotations received from various professionals are attached herewith as **Annexure-31.07.01**, and the copy of the selected auditor by the SRA is attached as **Annexure-31.07.02**.

The Chairman further apprised the CoC that as proposed in the Resolution Plan dated 28.05.2024 read with addendum dated 03.06.2024 submitted by the Successful Resolution Applicant, M/s Krish

Infrastructure Private Limited, in order to ensure earliest possible resolution, SRA, CoC & RP, shall jointly negotiate and enter into Settlement Agreement with Samyak Projects Private Limited. Once the Samyak issue is resolved, the further actions will be taken accordingly.

The RP informed the CoC that numerous meetings have already taken place with representatives of Samyak Projects Pvt. Ltd. Although a final settlement has not yet been reached, discussions have progressed positively. Initially, the proposed amounts for the settlement were excessively high, but they have since been negotiated down to more reasonable figures, although they still remain above the amounts proposed by the SRA in the CoC-approved Resolution Plan. The RP further informed the CoC that the final amount has not been confirmed yet and, therefore, cannot be disclosed at the moment. There is considerable pressure on Samyak, as several litigations are being pursued rigorously in parallel, including NCDRC cases, a Section 7 petition, PUFEE applications, and writ petitions before the Hon'ble High Court etc.

As of now the discussions are ongoing and the RP is hopeful that this issue will be settled soon. Accordingly, another meeting will be held to apprise the COC to explain what has been transpiring and hopefully by then this issue would have reached to its resolution. The final settlement amount shall be presented before the CoC for approval and the CoC may take its decision in its commercial wisdom.

As discussed earlier, the final discussion with Samyak will be conducted in the presence of RP, AR, SRA & CoC represented by few homebuyers. The Financial Creditors in the class ('allottees') shall select 5-10 representatives amongst themselves for participation in the final negotiations and discussions with Samyak. It is neither practical nor favorable for all the homebuyers to attend the final discussion, as this could lead to confusion and chaos.

The AR further inquired about the process by which homebuyers will select their representatives. To which the RP stated that representatives could be chosen on a tower-wise basis, whether through a lottery system, voting, or based on mutual decision of the homebuyers. The RP also mentioned that a transparent selection process will be discussed following the conclusion of the meeting.

The Committee took note of the same.

RESOLUTIONS TO BE PASSED AT THE MEETING

AGENDA ITEM NO-31.08

TO APPROVE REPLACEMENT OF THE AUTHORIZED REPRESENTATIVE OF THE FINANCIAL CREDITORS IN CLASS ('HOMEBUYERS'/ 'ALLOTTEES') IN THE MATTER OF ANSAL PROPERTIES & INFRASTRUCTURE LIMITED (FERNHILL PROJECT, GURUGRAM).

The Chairman apprised the CoC that the Hon'ble NCLT vide its order dated 16.10.2024 directed the RP to discuss & rectify/ratify the resolution passed in the 29th CoC meeting held on 01.08.2024.

The RP further apprised the CoC that the aforementioned application was listed before the Hon'ble NCLT for the first time on 02.09.2024, during which the Bench declared the application as "Defective" noting that the voting result sheet inaccurately stated that the votes were casted by the "Committee of Creditors" whereas correct expression should have been - "Votes casted by Financial Creditors in Class". Accordingly, the Hon'ble Bench scheduled the application for clarification on the very next day i.e., 03.09.2024. On that date, the Counsel of RP clarified that the resolution had been passed by the Financial Creditors in a Class, specifically the Allottees, rather than the Committee of Creditors as the Committee of Creditors only comprises of Real Estate Allottees. Consequently, the Hon'ble Bench directed the RP to file an Affidavit to bring on record the amended voting result and listed the matter further on 18.09.2024.

Following which the RP had duly filed the additional affidavit for placing on record the amended voting results of the agendas discussed in the 29th CoC meeting on 09.09.2024. On 18.09.2024, the matter could not be taken up due to paucity of time and was subsequently adjourned to 16.10.2024.

Thereafter, during the hearing on 16.10.2024, the Hon'ble NCLT directed the RP to put up the entire resolution once again before the CoC and obtain fresh approval with the correct particulars.

Accordingly, the following resolution shall be placed for seeking approval of the COC members through e-voting:

Resolution:

To consider and, if thought fit, to pass with or without modification the following resolution-

RESOLVED THAT the Financial Creditors in a class ('homebuyers' / 'allottees') having requisite majority hereby appoint Ms. Aakriti Sood, having IBBI Reg. No.-IBBI/IPA-002/IP-N01224/2022-2023/14221, as their authorized representative in accordance with the Regulation 16A (3B) of the IBBI (CIRP) Regulations, 2016 in the matter of Ansal Properties & Infrastructure Limited, (Fernhill Project, Gurugram).

ANY OTHER MATTER

Further, after discussions on all the agenda points, the Chairman invited the Homebuyers to share their queries one by one who have attended the meeting virtually. A brief record of the discussions held with the Homebuyers is as mentioned below:

Sr. No.	Homebuyer's Queries	Responses
1.	As previously discussed, the final negotiations with Samyak will take place in the presence of the RP, the AR, the SRA, and the CoC. Further, there will be 5 -10 representatives from the CoC, who will be selected on a tower-wise basis through a voting process, as per my suggestion.	The RP stated that, as mentioned earlier, has proposed the idea of selecting tower-wise representatives, using a lottery system, voting, or mutual agreement amongst the homebuyers.
2.	As mentioned in the last meeting, there was 90% chances that the plan will be heard on 16.10.2024 and could be approved; however, we have now received the next date for the Resolution Plan application, which is scheduled for 21.11.2024 and the deadline is 31.12.2024.	The RP stated that there are 10-15 applications in the nature of objection regarding belated claims and other applications filed by the creditors who fall below the 42% threshold proposed by the SRA in their plan. Once all these applications have been resolved, the Resolution Plan application will be heard by the Hon'ble Adjudicating Authority.

	<p>Please provide an assessment of the chances that it will be concluded before the deadline?</p> <p>The Homebuyers main worry is that the we have already spent three months on Plan application and if the 31st December deadline will be breached, the additional burden will be put upon the Homebuyers. Therefore, we don't want to breach this deadline.</p> <p>Can we arrange a group call before the next date of hearing to discuss our strategy and outline how we will proceed?</p>	<p>The RP further informed that the counsel of the RP had apprised the Bench that there are various judgements opposing the admission of belated claims. Consequently, the Bench has directed that those judgments be placed on record.</p> <p>Further, on the next date of hearing while it is anticipated that the plan will not be approved; however, the RP aims to resolve all the other applications by 21.11.2024.</p> <p>The RP stated that efforts are being made to ensure that the Resolution Plan application be decided before 31stDecember 2024. Additionally, a target has been set for the next hearing, wherein RP's counsel will request the Bench to allow a short date for the Plan application to ensure it is heard without any further delay.</p> <p>RP was affirmative to the request for a group call before the next date of hearing.</p>
3.	<p>High Court application is filed or not?</p> <p>As discussed earlier, we should avoid using a lottery system. Instead, we need a</p>	<p>The RP stated that the application has already been filed before the High Court, seeking directions for the Arbitrator to vacate the status quo, or for the Hon'ble Tribunal itself to vacate the stay.</p> <p>The RP stated that the proposed selection process is precise, and the top 10 members who</p>

	clear strategy for nominations that the CoC would like to propose. For example, Pankaj Ji could send an email regarding the nominations. However, there should be specific conditions, such as considering only those members who receive the maximum number of votes for participation in the negotiations.	receive the maximum number of votes will be selected.
4.	All the mails regarding Corporate Insolvency resolution process shall be disseminated through the Authorized Representative only.	The RP noted the same.

The Committee took note of the same.

VOTE OF THANKS

There being no other business to transact, the matter was concluded at 01:30 PM with the vote of thanks by the chairman to all the participants for their effective participations.



(Jalesh Kumar Grover)
Resolution Professional

In the Matter of M/s Ansal Properties and Infrastructure Limited (Fernhill Project, Gurugram)

Regn. No. IBBI/PA-001/IP-P00200/2017-2018/10390

(AFA valid till 25-10-2024)

**Registered Address: S.C.O No 818, 2nd Floor, N.A.C,
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Email for Correspondence -cirp.fernhill@gmail.com

Email regd. with IBBI – jk.grover27@gmail.com

Mobile- +91-7717303525, +91-92160-01808

Date: 26.10.2024

Place: Chandigarh

Quotations received from the various Structural Auditors In the matter of Ansal Infrastructure & Properties Limited(Fernhill Project, Gurugram)				
Sr. No	Names	Address & Contact Number	E-mail ID	Quoted Fee Amount (Rs.)
1	Vintech Consultants	C-35, Pamposh Enclave, G.K -I, New Delhi +91-11-43141517	pratibha@vintechconsultants.com	1.For Visual Inspection of building structures including foundations,columns , beams & slabs-Rs. 1.75 /- per sq.foot + 18% GST 2.For Assesment of the condition of structural elements & identification of any signs of distress,deterioration or structural deficiencies -Rs. 1.75/sqft +18% GST 3.Evaluation of the seismic resilience & compliance with relevant building codes & standard Structure Analysis- Rs.3/sqft + 18% GST
2	VS Consultants	H.no-10-B block-R Dharampura extn.Najafgarh, New Delhi Ph-9999885098	vikas.4361@gmail.com	1.Rebound Hammer Test-120x600=72000/- 2.Ultra sonic pulse velocity test=100x750=75000/- 3. Core Cutting & testing in UTM machine=5x5000=25000/- 4. Carbonation Test-10X3000=30000/- 5. Half cell potential test=10x3500=35000/- 6. Site Visit to assess the structural safety of the existing buildings by visual inspection of critical structural elements such as columns & beams -35000/- 7.Recommendations for necessary repairs, retrofittings and prepare a final structural audit report for submission with all conclusions- 45000/-
3	Ajay Sahni	S 13/25 DLF phase III gurgaon Mob-9810053542	bmsf.sahni@gmail.com	In case if data is not available- Rs.6 per sqft Gap Study-Rs.-4/sqft Strengthening/Retrofitting scheme- Rs.3/sqft GST will be extra
4	I S Chauhan	9899261600	ischauhanarch@gmail.com	Total -26,87,150/-
5	Cortex Marketing recd. On 10.08.2024	7717303525	info@cortexsolutions.in	Total-23,49,380/-
6	Save Techno Engineers (14	0124 - 4572379	info@savetechno.com	1. Mobilisation fee-15 Lakh 2. Visual Inspection -Rs. 1 per sq feet of total builtup area 3. Conducting NDT- will be done by 3rd party & charged as per actuals on prorata basis. 4. Submission of structural audit report- Rs. 3 per sqft of total built up area. 5. Retrofitting drawings- Rs.3 per sqft of built up area. 6.PMC services-offer shall be submitted later

Ref. No. - VC/2024-25/ANSAL/FERNHILL/GGN/61

Date: 19th July 2024

To,

Kind Attn. : Mr. Jalesh Kumar Grover
Project : Fernhill Project at Sector-91, Gurugram.
Subject : Professional Fee Proposal for the Structure Audit Service (Visual Site Inspection, NDT, Str. Analysis and Retrofitting).

First of all we would like to thank you for inviting us for the Structure Audit service for the above said project. Our professional fee offer for the same is as follows:-

1. Visual inspection of the building structures, including foundations, columns, beams and slabs

❖ **Scope of Work**

- i. A team will visit the site and check all the structural elements visible to naked eye.
- ii. Preparation of inspection report, by visually checking the every corner / area of the building and preparation of detailed report mentioning defects in area / floor wise.
- iii. The elements will be inspected for any visual distress/deterioration such as cracks and dampness.
- iv. Prepare a report with photographic evidence of major distresses.

❖ **Fee Proposal**

- **Fee on Total Built-up area = Rs. 1.75/- per Sq. Ft.**
- **GST @ 18% as applicable shall be additional.**
- **The work for the next stage shall be proceed once the payment of earlier stage received**

❖ **Payment Terms**

- Advance = 50%
- On completion of Preliminary Visual Inspection = 25%
- On submission of Final Visual Inspection Report = 25%

2. Assessment of the condition of structural elements and identification of any signs of distress, deterioration or structural deficiencies

➤ **Conducting Non-Destructive Tests :-**

❖ **Scope of Work**

- This will include conducting following NDT:-
 - i. Rebound Hammer Test
 - ii. Ultrasonic Pulse Velocity Test
 - iii. Core Test
 - iv. Half Cell Potential Test
 - v. Carbonation Test
 - vi. Chemical Analysis Tests
 - vii. Cover meter Test

❖ **Fee Proposal**

- **Fee on Total Built-up area** = **Rs. 1.75/- per Sq. Ft.**
- **GST @ 18% as applicable shall be additional.**
- **The work for the next stage shall be proceed once the payment of earlier stage received.**

❖ **Payment Terms**

- Advance = 50%
- On completion of NDT test = 25%
- On submission of NDT test report = 25%

3. Evaluation of the seismic resilience and compliance with relevant building codes and standard

➤ **Structure Analysis**

❖ **Scope of Work**

- i. Review of structural framing system.
- ii. Checking of analytical model which includes idealization of structure; Geometry; idealization of joints and restraints; Material properties; load cases; Design parameters; provisions of IS codes.
- iii. Seismic analysis from submitted STAAD/ETABS models.
- iv. Review of major elements whether their reinforcement and size is adequate.
- v. Checking all design parameters with the Indian codes of construction.
- vi. Checking of bearing capacity of soil with respect to submitted soil report
- vii. Review and comment on whether the structure is habitable or not and giving a final report with photographic evidence of major distresses.
- viii. Final recommendations on retrofitting (If required).

❖ **Fee Proposal**

- **Fee on Total Built-up area** = **Rs.3.00/- per Sq. ft.**
- **GST @ 18% as applicable shall be additional.**
- **The work for the next stage shall be proceed once the payment of earlier stage received**

❖ **Payment Terms**

- Advance = 50%
- On submission of Preliminary Report = 25%
- On submission of Final Report (on basis of NDT test & Str. Analysis) = 25%.

4. Recommendation for necessary repairs, retrofitting, or strengthening measures to ensure the long term safety and durability of the structures

➤ **Retrofitting And Rehabilitation**

❖ **Scope of Work**

- i. Recommendation for repair along with BOQ and specifications.
- ii. Suggestions for regular maintenance and protection.
- iii. To provide detailed repair / reinstatement / rectification requirement and its methodology specifying the materials to be used and tests to be carried out for strength verification.
- iv. To check the execution of repairing / rectification / reinstatement work for compliance to approved methodology / recommendations. The consultant shall verify the work carried out by the retrofit contractors to their satisfaction.

❖ **Fee Proposal**

- **Fee on Total Built-up area** = **Rs.2.50/- per Sq. ft.**
➤ **GST as applicable shall be additional.**

❖ **Payment Terms**

- **Advance** = **50%**
➤ **On submission of preliminary report** = **25%**
➤ **On submission of final report and structural stability certificate** = **25%**

5. Time-Line

- We will give the time-line after receiving the whole project data.

6. Requirements

- Access to complete site.
➤ Complete set of Architectural drawings (Hard Copy and Soft Copy).
➤ Complete set of structural framings plans on which STAAD/ETABS model has been prepared (Hard and Soft copy) (if any).
➤ Soil Report (Hard copy).

NOTE: -

- # *In case of removal of any ceiling, cladding or any finishing item etc. for checking the Structural system, the same shall be done by client and the repairing of same shall be done by client.*
- # *Necessary Scaffolding, Ladders etc. shall be provided by client.*
- # *For checking the foundation size all necessary excavation, backfillings and all necessary work shall be done by client.*

We hope that you will find the same in order.

Regards,

For Vintech Consultants


(Dr. Vinod Jain)

Ref No.: Prop./Fernhill/Str/01

July 25, 2024

To,

Mr. Jalesh Kumar Grover

Resolution Professional
SCO 818, Second Floor,
above YES Bank, NAC,
Manimajra,
Chandigarh- 160101

**Project: Structural Audit in the matter of M/s Ansal Properties and
Infrastructure Limited (Project Fernhill) at Sector-91, Gurugram**

**Subject: Proposal for Structural Assessment & Consultancy for the above
mentioned project**

Sir,

This has reference to our discussion with your self regarding the assessment and consultancy for the above mentioned project. We are pleased to submit our proposal for the above mentioned project.

Our proposal consists of:

1. Preparation of Structural / Survey Drawings
2. Preparation of Drawings for NDT and Physical Exploration
3. Preparation of Drawings for Soil Investigation Works
4. Structural Analysis
5. Gap Study, Recommendations & Way Forward

1. Preparation of Structural / Survey Drawings

Structural drawings shall be generated based on physical measurements at site and architectural drawings provided by the clients. Structural drawings are required to get the information about the structural system adopted which will help us in analyzing the structure.

2. Preparation of Drawings for NDT and Physical Exploration

A. Objective of Study

This exercise for studying the possible ways to retrofit the existing building to meet possible working loads and seismic loads undertaken after evaluating the non-destructive study results conducted on the building, crack and deflection patterns recorded from the site.

The non-destructive study results will indicate whether the building is under overstress stage in multiple structural components. This exercise will find ways to retrofit the building to the desired strength levels and make it capable to function as a post disaster building incase deficiency is encountered due to design deficiencies or load in basements.

This study, the first step in the retrofitting design is to find the members over stressed, possible techniques to reduce the stresses on the building components and possible methods to strengthen those components.

The building structure needs to be analysed in multiple iterations to find ways to satisfy the required strength characters of members.

As the first attempt, the building is analysed and designed as per existing architectural drawings and loadings as the current use of the building. After studying the results and available section properties of members, other options are studied with varied section properties and additional members to reach the goal.

The following fields as well as laboratory non-destructive tests are proposed to be carried out as per location mentioned under client's scope.

a. Field Tests

- i. Schmidt's rebound hammer tests for determining the concrete compressive strength.

- ii. Ultrasonic pulse velocity tests for establishing the quality of concrete.
- iii. Rebar locator tests for locating rebars and for determining rebar dia (wherever possible) and rebar spacing.
- v. Carbonation tests for determining the depth of carbonation of concrete.
- vi. Drilling out of concrete cores from various RCC members of the structure for determining concrete compressive strength.
- vii. Cover Meter tests for determining thickness of concrete cover.

b. Laboratory Tests

- i. Preparation and testing of drilled out concrete core specimens for determining concrete compressive strength in the lab.

DETAILS OF TESTS:

Rebound Hammer Test and Concrete Core Samples

The rebound hammer test will give concrete compressive strength at several locations. A site-specific correlation will be developed between the rebound number (obtained directly from the rebound hammer) and the actual in-situ concrete strength obtained from the core tests. This correlation would be used to determine the concrete strength at several locations where rebound tests would be done.

Some of the objectives of Rebound Hammer test are as follows:-

- i. To assess quality of concrete in relation to the standard requirements.
- ii. To estimate compressive strength of concrete with the help of suitable correlations between rebound index and compressive index.
- iii. To delineate regions of poor quality or deteriorated concrete in a structure.
- iv. To assess quality of one element of the concrete in relation to another.

Factors affecting the test results:-

- i. Type of cement
- ii. Type of aggregate
- iii. Surface condition and moisture content of concrete
- iv. Curing and age of concrete
- v. Carbonation of concrete surface

The test is based on the principle that the rebound of an elastic mass depends on the hardness of the surface against which mass strikes.

The plunger of hammer is pressed strongly and steadily against the concrete surface at right angles to its surface, until the spring loaded mass is triggered from the locked position.

The distance travelled by the mass as a percentage is defined as rebound number.



Fig.2.1: Rebound hammer

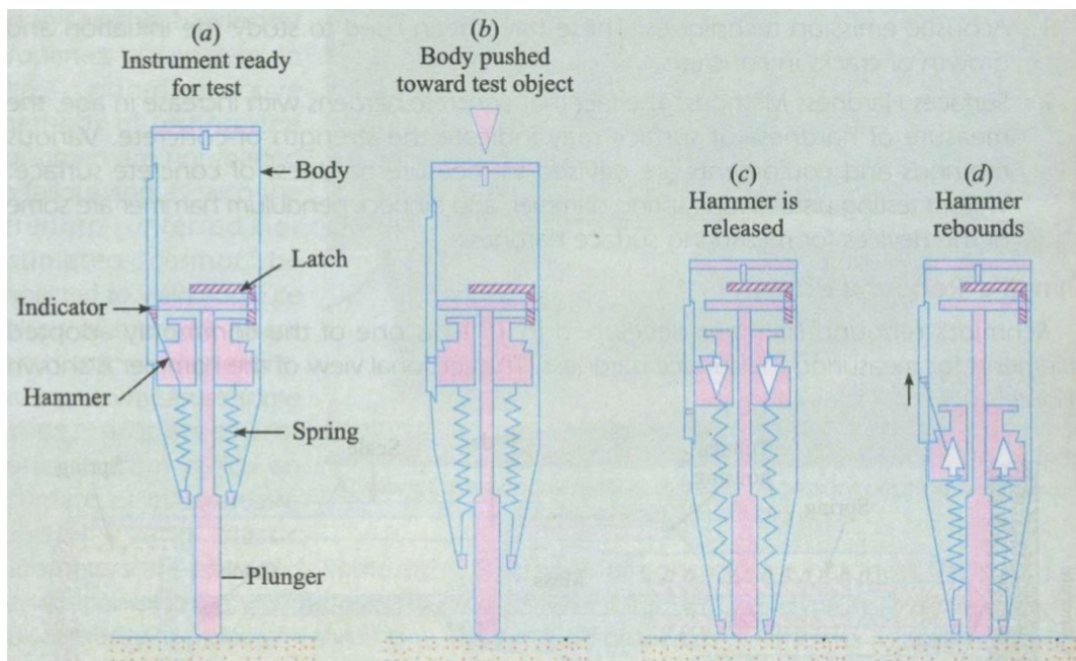


Fig.2.2: Image showing mechanism of Rebound Hammer



Fig.2.3: A man performing Rebound Hammer Test

Interpretation of the Test Results:

Average Rebound Number	Quality of concrete
More than 40	Very good very hard layer
30 to 40	Good layer
20 to 30	Fair
Less than 20	Poor concrete
0	Delaminated

Steps to carry out Rebound Hammer Test:

The test is performed as per guidelines given by IS: 13311 (Part 2): 1992 to estimate the in situ strength of concrete based on the correlation established between in-situ strength at the particular location & rebound numbers.

- i. The plaster is removed at test locations.
- ii. For testing, smooth, clean, dry surface without any defect like Honeycombing cracks and hollow sound is selected.

- iii. The area of approx. 300 mm x 300 mm is rubbed with carborundum stone to remove loosely adhering scales, or remains of plaster mortar, if any.
- iv. In this area 12 points at approximate 30 mm apart are selected in grids.
- v. By holding the rebound hammer at right angles to surface of the concrete member, 12 readings are taken at selected points.
- vi. Of these readings, abnormally high & abnormally low results are eliminated & average of the balance readings is worked out.
- vii. Taking into consideration the factors influencing hardness of the concrete surface like moisture condition of the surface, carbonation, test location within the member, direction of test etc. corrected rebound number is worked out.
- viii. The compressive strength of concrete against each rebound number is obtained from graph prepared on correlation established between rebound numbers at core test locations & equivalent cube strength values.
- ix. The statistical analysis is carried out for this set of values of compressive strengths obtained by above method.

Concrete Core Test

This is one of the very reliable tests adopted for checking the compressive strength of the 'In situ concrete'.

Other physical properties such as density, water absorption can also be measured from the core concrete.

In addition chemical properties of concrete specimen for its cement content, carbonation depth, chloride and sulphate content may be measured.

Steps to the Core Tests:

The reinforcement is detected at planned location with the help of Rebar Locator called Profometer to avoid cutting of reinforcement.

- i. The Core cutting equipment is fixed at the planned location & core is extracted.
- ii. The Cores are transported to the laboratory & visual observations of cores are recorded for interpretation purpose. Reinforcement bars, if encountered, are cut off.
- iii. The Cores are removed from water cut to the required L/D ratio of 2, wherever possible, exactly perpendicular to the longitudinal axis.
- iv. Both the ends are prepared by grinding up to the tolerance limit as specified by Clause 4:8 of BS 1881: Part 120: 1983 for flatness & parallelism.

- v. A thin layer of plaster of Paris is applied to ends to ensure proper contact.
- vi. Now the cores are ready for compression testing.

Ultrasonic Pulse Velocity Test (UPV)

The ultrasonic pulse velocity measurements will give information about concrete quality, in terms of ultrasonic pulse velocity, voids, flaws, cracks, honeycombing etc. as also depth of cracks in structural members. The results would help in identifying the areas required to be strengthened.

The method consists of measuring the time of travel of an ultrasonic pulse passing through the concrete being tested. Comparatively higher velocity is obtained when concrete quality is good in terms of density, uniformity, homogeneity etc. The ultrasonic pulse velocity test is per guidelines given in IS: 13311 (Part 1) - 1992.

Some of the objectives of Ultrasonic Pulse Velocity test are:-

- i. To assess uniformity and homogeneity of concrete.
- ii. To assess quality of concrete in relation to standard requirements.
- iii. Detection of presence and approximate extent of cracks, voids and other imperfection in concrete.
- iv. Measurement of changes occurring with time in the properties of concrete.
- v. Correlation of pulse velocity and strength as a measure of concrete quality.

Factors affecting test results:-

- i. Smoothness of contact surface under test.
- ii. Influence of path length on pulse velocity.
- iii. Temperature of concrete

5° - 30°	Ideal
30° - 60°	(Reduction in UPV up to 5%)
Below 5°	(Increase up to 7.5%)
- iv. Moisture content of concrete (Pulse velocity is proportional to moisture content).
- v. Presence of reinforcing steel (UPV of reinforcement is 1.2 to 1.9 times of normal concrete).
- vi. Stress level in concrete.



Fig.2.4: Ultrasonic pulse velocity meter

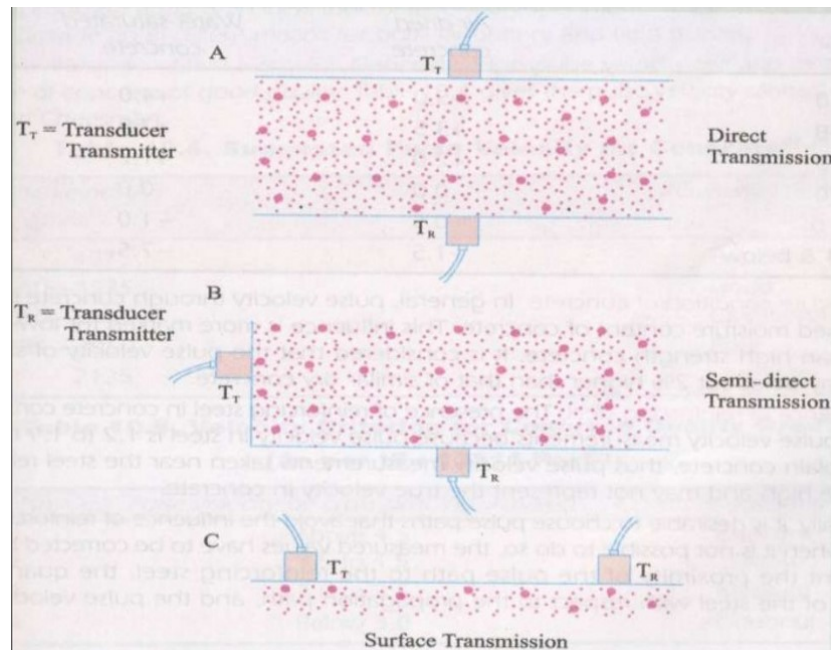


Fig.2.5: Measurement Techniques for Pulse Velocity test

Steps to carry out the USPV test:

- i. The plaster is removed at test locations wherever required.
- ii. For testing, smooth, clean, dry surface without any defect like honey combing, cracks, and hollow sound is selected.
- iii. The area of approx. 300 mm x 300 mm is rubbed with carbonation stone to remove loosely adhering scales, or remains of plaster mortar, if any.
- iv. Two points are marked on opposite faces of the concrete members. (At exactly opposite locations for direct transmission of ultrasonic pulses).

- v. Grease is applied as a coupling medium to ensure proper contact of the transducers with concrete surface so that ultrasonic pulse is transmitted through the medium without much disturbance.
- vi. Now both the transducers are held at correct test locations by applying constant pressure & ultrasonic pulses are transmitted through the concrete.
- vii. The machine displays the time taken to travel the known path in microseconds.
- viii. The velocity is calculated from the reading obtained against each known path.

The mean value of the display readings should be taken when the unit's digit hunts between two values.

$$\text{Pulse velocity} = \text{Path length} / \text{Travel time}$$

Separation of transducer leads: It is advisable to prevent the two transducer leads from coming into close contact with each other when the transit time measurements are being taken. If this is not done, the receiver lead might pick-up unwanted signals from the transmitter lead and this would result in an incorrect display of the transit time.

The quality of concrete in terms of uniformity, incidence or absence of internal flaws, cracks and segregation, etc., indicative of the level of workmanship employed, can thus be assessed using the guidelines given below, which have been evolved for characterizing the quality of concrete in structures in terms of the ultrasonic pulse velocity.

Following velocity criterion for concrete quality grading is given by IS 13311 (Part I): 1992. Criterion for grading of Concrete Quality

<i>Ultrasonic Pulse Velocity by Cross probing (Km/Sec.)</i>	<i>Concrete Quality Grading</i>
Above 4.5	Excellent
3.5 to 4.5	Good
3.0 to 3.5	Medium
Below 3.0	Doubtful

Rebar Locator or Cover Meter Survey Test (PF)

The Cover Meter tests will give thickness of the clear cover over reinforcement bars. The cover values will be used for determining the risk of corrosion together with the results of the carbonation tests.

The primary objectives of rebar locator are:-

- i. To assess location of reinforcing bar.
- ii. To determine size of reinforcing bar.
- iii. To assess concrete cover.

Factors affecting test results:-

- i. Cover measurement may be affected by neighboring bars parallel to the end of bar being measured.
- ii. Variations in the properties of steel.
- iii. Cross-sectional shape of bars.
- iv. Roughness of the surface.



Fig.2.6: Rebar Locator Equipment set



Fig.2.7: Estimating location of rebar



Fig.2.8: Estimating rebar diameter



Fig.2.9: Estimating concrete cover

The reinforcement bar is detected by magnetising it and inducing a circulating “eddy current” in it.

After the end of the pulse, the eddy current dies away, creating a weaker magnetic field as an echo of the initial pulse.

The strength of the induced field is measured by a search head as it dies away and this signal is processed to give the depth measurement.

The eddy current echo is determined by the depth of the bar, the size of bar and the orientation of the bar.

This detection of location of reinforcement is required as a pre-process for core cutting.

Carbonation Tests

The carbonation tests will help in determining the risk of corrosion to the reinforcement bars & affording confidence in the durability of concrete.

To evaluate extent of carbonation for strength and corrosion estimation.

Carbonation of concrete occurs when the carbon dioxide, in the atmosphere in the presence of moisture, reacts with hydrated cement minerals to produce carbonates

Within a few hours, or a day or two at most, the surface of fresh concrete will have reacted with CO₂ from the air. Gradually, the process penetrates deeper into the concrete at a rate proportional to the square root of time.

After a year or so it may typically have reached a depth of perhaps 1 mm for dense concrete of low permeability made with a low water/cement ratio, or up to 5 mm or more for more porous and permeable concrete made using a high water/cement ratio.

The affected depth from the concrete surface can be readily shown by the use of phenolphthalein indicator solution. This is available from chemical suppliers. Phenolphthalein is a white or pale yellow crystalline material. For use as an indicator it is dissolved in a suitable solvent such as isopropyl alcohol (isopropanol) in a 1% solution.

The extent of carbonation is determined by testing concrete surface with a 1% phenolphthalein solution

The 1% phenolphthalein solution is made by dissolving 1gm of phenolphthalein in 90 cc of ethanol & the making it to 100cc by adding distilled water

Steps for carbonation test

The phenolphthalein indicator solution is applied to a fresh fracture surface of concrete and observed for 10mins.

If the indicator turns purple, the pH is above 8.6. Where the solution remains colourless, the pH of the concrete is below 8.6, suggesting carbonation. A fully-carbonated paste has a pH of about 8.4.

Change in colour is observed after test

Change in colour	Inference
No change in colour layer	Carbonation affected
Purple	No carbonation has taken place

Carbonated Concrete



Fig.2.10: Images showing Carbonated concrete

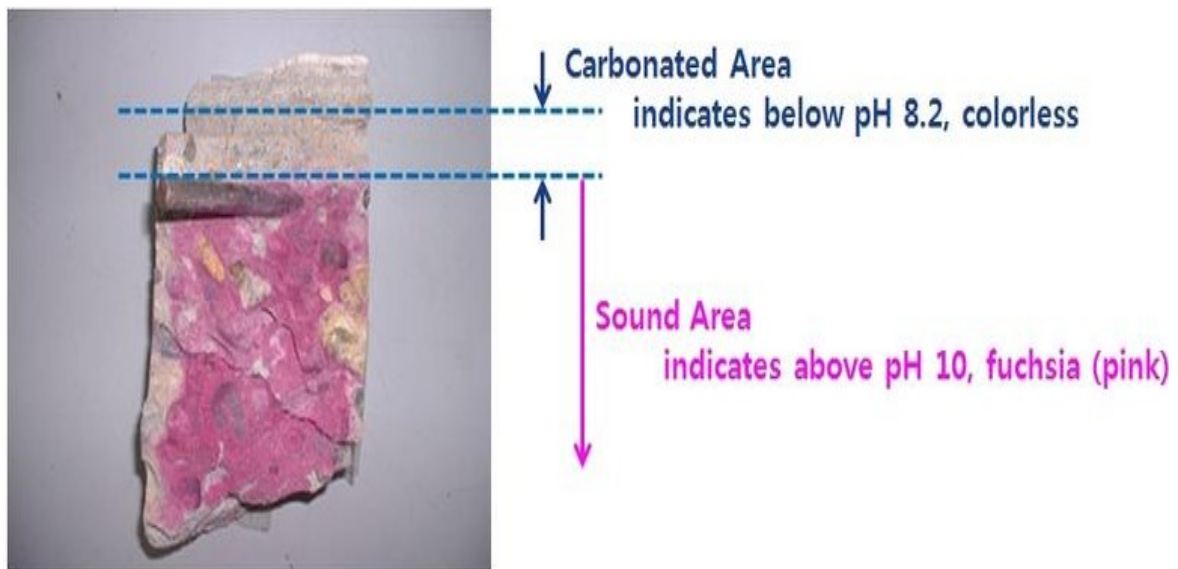


Fig.2.11: Result inference from concrete colouring

Half Cell Potentiometer Test

This test is used to assess the corrosion conditions in a reinforced concrete structure as per ASTM C876 – 91.

The apparatus includes copper-copper sulphate half-cell, connecting wires and a high impedance voltmeter

External cathode is provided in the form of copper rod and copper sulphate solution in the cell. Any point on reinforcement bar inside the concrete body functioning as anode when connected electrically to cathodic half-cell generates e.m.f. This is measured by connecting a milli-voltmeter in the circuit.

Steps for performing half-cell potentiometer test:-

- i. Locate the steel and determine the bar spacing using a cover meter.

- ii. The cover concrete is removed locally over a suitable bar and an electrical connection made to the steel.
- iii. It is necessary to check that the steel is electrically continuous by measuring the resistance between two widely separated points.
- iv. The reinforcing bar is connected to the half-cell via a digital voltmeter.
- v. One electrode is connected to the bar inside concrete and the other to the concrete surface.
- vi. Readings of half-cell potential are taken over a regular grid of points (say ½ m apart) to give a potential map of the area.

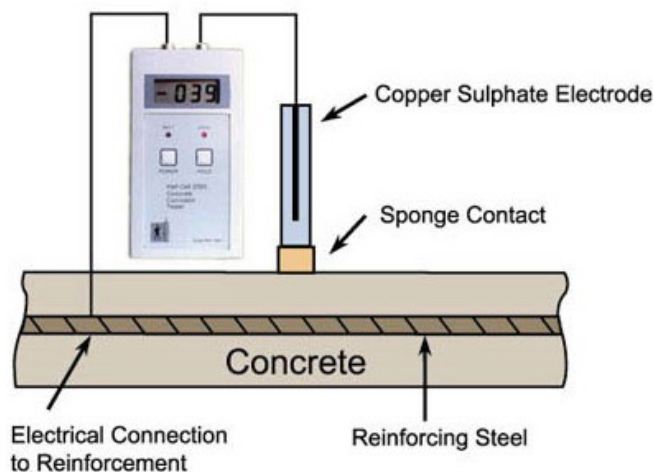


Fig.2.12: Half-cell potentiometer instrument

The possibility of active corrosion is found out according to guideline below.

<i>Half-cell potential (mV) reading</i>	<i>Percentage chance of active corrosion</i>
< -350	90%
-200 to -350	50%
> -200	10%

Physical Exploration

Non structural elements like false ceiling, plaster, flooring etc to be chipped off as specified locations marked in the layout drawing to get the confirmation about structural elements (Shape, Size, Cover, Reinforcement etc). Permission from clients along with manpower & resources shall be required to perform this exercise.

3. Preparation of drawings for Soil Investigation Works

Soil properties are obtained from soil testing. The soil properties shall be investigated to a depth as specified by the consultants from the ground level. Disturbed and undisturbed soil samples collected from different depths and analysed them in the laboratory for obtain the soil properties. This data is used to arrive on the permissible loading on the soil with necessary and sufficient safety factor specified in Indian Standards

4. Structural Analysis

The analysis of the proposed structure will be done with the help of ETABS software. The frame formed in conjunction with old structural drawing. The loading and geometry of the structural system will be arrived based on existing building/ proposed changes and loads induced by the usage of the building. Seismic forces will be calculated confirming to IS 1893: 2016. The stress resultants will be interpreted and presented in graphical form.

5. Gap Study, Recommendation & Way Forward

After study of health assessment report and revised structural analysis, deficiencies in individual structural members shall be worked out and suitable remedial / strengthening members shall be suggested.

Results of analysis are tabulated for the existing building under design loads, present loads with specification of materials specified in the drawings and the specification of the material obtained from NDT reports.

The tabulation will result in establishing the gap between demand and supply between the design and present structure of the building which will be further used in generating the drawings and BOQS for the type of modification required in the present building to build it at par with a healthy building.

On the basis of remedial measures, a suitable BOQ with detailed specifications of materials and items shall be devised for this particular site. It shall include preparation of all detailed method statement with drawings/ shop drawings of all different type of remedial schemes being adopted.

Time Frame

The approximate time period for the individual activity shall be as follows:

1. Preparation of Structural / Survey Drawings 2 weeks
 2. Preparation of drawings for NDT and Physical Exploration 3 weeks
 3. Preparation of drawings for Soil Investigation Works 2 weeks
(but parallel with activity 2)
 4. Structural Analysis 3 weeks
 5. Gap Study, Recommendation & Way Forward 2 weeks
- Total 12 to 14 weeks**

Requirements from Clients

1. Architectural plans and sections (depending upon availability)
2. Permission for physical exploration at site along with necessary manpower and resources

Professional Fee

1.1 In case data is not available

S. No	Rates for generating data (In case its not available)				NDT
	DBR	Soil Investigation Report	Design Model	Semi-Detailed Drawings	
1	0.50 Rs/sqft	0.75 Rs/sqft	2.50 Rs/sqft	2.25 Rs/sqft	2.00 Rs/sqft
Total	6.00 Rs/sqft				2.00 Rs/sqft

1.2 Gap Study

S. No.	Gap Study and Way Forward
1	4.00 Rs/sqft

1.3 Strengthening / Retrofitting Scheme

S. No.	Strengthening / Retrofitting Scheme
1	3.00 Rs/sqft

GST as applicable shall be paid extra.

Stages of Payment

Considering complete scope of work, the payment schedule shall be as follows:

On Appointment	20%
On preparation of Structural / Survey Drawings	15%
On acceptance of NDT & Soil Investigation Report	15%
On acceptance of design model	15%
On submission of Structural Assessment Report of Gap Study	15%
On submission of retrofitting details	20%
Total	100%

We hope that you will find our rates very reasonable for carrying out the above mentioned work.

Hoping to hear from you soon.

Regards,



Ajay Sahni

C RTEX CONSTRUCTION SOLUTIONS PVT. LTD.

Structural Audit Through Diagnosis

PAN NO. AACCC9823E; CIN : U45309DL2006PTC155848

Registered Office Address:
B-248, Lower Ground Floor, C.R.Park,
New Delhi - 110019. Contact - 011-41704366
e-mail ID - info@cortexsolutions.in


Quotation

Quotation No.:	1446	Date:	25/07/2024
Name of Work:	Structural Audit of Ansal Properties and Infrastructure Limited (Project Fernhill) at Sector- 91, Gurugram.	Kind Atten:	Jalesh Kumar Grover
Client Name:	Ansal Properties And Infrastructure Limited (Project- FERNHILL)	Contact Mail ID:	jk.grover27@gmail.com
Client Address:	Sector- 91, Gurugram.	Contact No.	917717303525
Site Address:	Sector- 91, Gurugram.	Vendor Code:	XX

Sl. No.	Item Code No.	Description of work	Item Unit Rate (Rs.)	Unit of quantity	Quantity	Total Amount Rs.
1	VS	Visual Survey:- Visual inspection for surface damages, damage classification. The visual inspection shall largely cover areas of high distress, corrosion, moisture, leakage, abnormal variations in structure, algae and fungus growth, efflorescence, etc. Visual inspection would be documented in the form of worksheets, photographic records, and distress over drawings. Simple tools and instruments like camera with flash light, magnifying glass, binoculars, chisel and hammer, etc shall be used for measuring the distresses as per site requirement.	30000.00	LS	11	330000.00
2	RH/UP	Rebound Hammer Test: Uniformity of concrete in terms of surface hardness as per IS 13311 (Part-2)-1992, ASTM C 805-02, BS 6089:1981 and BS 1881: Part 202, BS-EN:13791 with plotting of histogram as well as normal distribution graph.	300.00	Nos.	220	66000.00
3	USPV/UP	Ultrasonic Pulse Velocity Test: for ascertaining the quality of concrete, uniformity of concrete in terms of soundness and density of concrete as per IS 13311 (Part-1)-1992, ASTM: C597-83, BS 6089: 1981 and BS 1881: Part 203 and BS-EN:13791	900.00	Nos.	220	198000.00
4	CBT	Carbonation and cover test: Measurement of carbonation depth by phenolphthalein spray test at selected locations (drilled powder sample or concrete core sample as per site condition) on RCC members of the structures covered under the study to see the depth of carbonation as per BS EN 14630:2006, BS EN 13295:2004. Cover depth is also measured at the same location to know the ration of Carbonation depth to cover depth to check whether structure is in incubation period or deterioration period.	600.00	Nos.	132	79200.00
5	CT	Core Extraction and Testing: Extracting the concrete core samples following the codal provisions; and evaluating the properties (fck value, grade of concrete) in the laboratory from the core samples selected. IS 456:2000; IS 516:1959, IS 1199:2002; ASTM C-42, without encountering any steel reinforcement from the RCC members covered under the study at specified locations by site in-charge with portable power driven core cutting equipment	6000.00	Nos.	66	396000.00
6	HCT/P	Half Cell Potential Test : Measuring the half-cell / surface potentials at selected locations on RCC members of the structures covered under the study to understand the extent of reinforcement corrosion in terms of probable risk of corrosion of steel bar as per ASTM C876 The rate shall include surface preparation, moistening concrete surface	900.00	Nos.	132	118800.00
7	RMT/P	Resistivity Meter Test:- It is used in determination or estimation of the likelihood of corrosion due to poor quality of concrete, correlation to chloride permeability, determination of zonal requirements for cathodic protection systems, Identification of areas within a structure	1000.00	Nos.	132	132000.00

		most susceptible to chloride penetration as per BS EN 12696:2000, RILEM TC-154, AASHTO T277 RCP, AASHTO T259, ASTM C 1202 97				
8	PCT	pH Value (to check alkanity of concrete) as per relevant B.S. 5328, ACI 201.2R-92 and ACI-318-99, IS 456:2000, BS 8110	500.00	Nos.	66	33000.00
9	CCT	Water Soluble Chloride Content % (by of mass of concrete) to check the risk of corrosion due to present chloride % as per IS: 14959 (Part 2) – 2001, B.S. 5328 Part 1, ACI 201.2R-92, BS 1881 Part 124:1988, BS 8110, IS 456:2000	3000.00	Nos.	66	198000.00
10	TSA	Tensile Strength Analysis/Yield Strength Analysis/Elongation of Steel Members:- To analyze the the tensile strength of existing steel members/steel bar and knowing the properties of steel members in terms strength, grade, ultimate strength, ductility and effect of ages on the properties of the steel section. Note:- Minimum 600 mm Sample size or following diagnosis codal requirement will be cut from the questionable portions/manufacturing lot of the steel members. Obtaining reinforcement bars from the site and testing the same to confirm adherence to applicable BIS codes in terms of physical properties	5000.00	Nos.	22	110000.00
11	RIR	Report submission with Interpretation and Recommendation: Preparing and submitting comprehensive report consisting of findings from visual inspection, test data, interpretation of results, conclusions and final recommendations along with sketch indicating the location of the test. Recommendation part does not include the repair scheme/DPR or BOQ related to the project. Note:- The HD quality site photographs and Video shall be provided to employer in a good quality of CD/DVD/USB hard disk along with softcopy but any data generated from the patented software can not be edited so those files can not be provided in the editable format like graphs, design output, backend algorithm etc	30000.00	Nos.	11	330000.00

Bank Details for Payment: Cheque/DD in favour of Cortex Construction Solutions Pvt.Ltd		Sub Total Amount Rs.	1991000.00
RTGS Details: A/C Name: Cortex Construction Solutions Private Limited A/C number: 629405038831, RTGS/IFSC number: ICIC0006294 Name of bank: ICICI Bank, Branch- Nehru Place, New Delhi.		Taxable invoice ValueRs.	1991000.00
GST No. 07AACCC9823E1ZR GST State Code: 07 Service Code (SAC Code): 998346		IGST (18.00%) Rs.	358380.00
Type of Service: Technical Testing and Analysis Service		Total Tax Amount Rs.	358380.00
		Grand Total Rs.	2349380.00

<p>Terms & Conditions</p> <ol style="list-style-type: none"> 1. Water and Electricity (generator or power supply) will be arranged by the client. 2. Mobilization of team within 7 days from the issuing date of Work Order/LOI. Note:- If advance payment is part of contract that need to be released as per contract agreement/LOI before mobilization of the team. 3. Work completion including field investigation and submission of final reports: 45 days. 4. Payment terms for our consultancy job: 40% Advance payment to be released along with the work order/mobilization of team, 30% after completion of site job and rest 30% amount to be paid within 15 days after report submission. If final bill will not cleared on time by the client the GST penalty will be paid by the client. As per MSME rule the bill will be cleared within 15 days. (MSME registration No: DL08E0004360). The charges may accrue late interest @ 24 % of the outstanding balance per month. Amount of the final payment will be certified with the measurement of the actual area/actual scope of work covered. All the payment should be released as per our mutual agreement regardless of your payment status from your parent company/concern authority. 5. Appropriate staging / scaffolding, ladder, boomer lift or equivalent approaching system at required locations (more than 3-meter heights) will be provided by the client without compromising the safety norms. Tests shall be carried out only in accessible/approachable location with 4 meter height ladder and at safe locations which will be mutually decided by our site engineer and representative of the client. 6. Hard-copy or soft-copy of drawings (layout plan and structural drawings) will be provided by client, if it is available. In case drawing (partially of complete) will be prepared by the Cortex, the duration of project as well as project cost both will increase proportionally. 	<p>Certified that the particulars given above are true and correct</p> <p>For, Cortex Construction Solutions Pvt. Ltd.</p>  <p>Authorised Signature</p>
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TOWERS TAKEN IN ABOVE INVESTIGATION

ANSAL PROPERTIES		
TOWER NAME	OLD DRAWING	NO OF FLOORS AS MENTIONED IN CLIENT DRAWING
TOWER A	BASEMENT(2),ELEC & PLAN ,(GROUND&1ST),TYPICAL ROOM ELEVATION,TYPICAL FLOOR PLAN	NOT MENTIONED
TOWER B	BASEMENT(2),GROUND,FRST- ELEC LAYOUT,TYPICAL PLAN (GROUND -13TH FLOOR)- ELEC LAYOUT,ELEVATION,TYPICAL FLOOR PLAN	UPTO 13TH FLOOR
TOWER C	BASEMENT(2),GROUND,FRST- ELEC LAYOUT,TYPICAL PLAN (GROUND -13TH FLOOR)- ELEC LAYOUT,ELEVATION,TYPICAL FLOOR PLAN	UPTO 13TH FLOOR
TOWER D	FOLDER MISSING	NOT MENTIONED
TOWER E	BASEMENT(2),GROUND,FRST- ELEC LAYOUT,TYPICAL PLAN (GROUND -16TH FLOOR)- ELEC LAYOUT,ELEVATION,TYPICAL FLOOR PLAN	UPTO 16TH FLOOR
TOWER F	BASEMENT(2),GROUND,FRST- ELEC LAYOUT,TYPICAL PLAN (GROUND -16TH FLOOR)- ELEC LAYOUT,ELEVATION,TYPICAL FLOOR PLAN	UPTO 16TH FLOOR
TOWER J	GROUND,FRST- ELEC LAYOUT,TYPICAL PLAN (GROUND -13TH FLOOR)LAYOUT	UPTO 13TH FLOOR
TOWER L	GROUND,FRST- ELEC LAYOUT,TYPICAL PLAN (GROUND -13TH FLOOR)LAYOUT,ELEVATION,BASEMENT (2)	UPTO 13TH FLOOR
TOWER M	BASEMENT(2),GROUND,FRST- ELEC LAYOUT,TYPICAL PLAN (GROUND -16TH FLOOR)- ELEC LAYOUT,ELEVATION,TYPICAL FLOOR PLAN	UPTO 16TH FLOOR
TOWER N	BLOCK - N&P PODIUM & SHOP ELECTRICAL LAYOUT,DRAINAGE PLAN	NOT MENTIONED
TOWER P	1st BASEMENT PLAN FRESH AIR & SMOKE EXTRACTION,BLOCK - N&P PODIUM & SHOP ELECTRICAL LAYOUT,DRAINAGE PLAN	UPTO 11 FLOOR

PROFILE

I S CHAUHAN & ASSOCIATES

ARCHITECTURAL & STRUCTURAL

CONSULTANT

Office (Works) : SCO 30,Old Jail Complex
Sohna Chowk, Guugram -122001

Regd Address : 2039 Sector 46 Gurugram-122003

Contact No. : 9899261600

E-mail : is.chauhanarch@gmail.com
is.chauhan@rediffmail.com

Enclosed:

1. Contact/Address
2. Project Pics
3. Key Personnel
4. List of Projects





List of Projects undertaken Categorized as below

- | | |
|--|------------|
| <i>1. Group Housing and Multi Storied</i> | Page 4 |
| <i>2. IT/Corporate Buildings</i> | Page 4 |
| <i>3. Industrial Projects</i> | Page 5-6 |
| <i>4. Commercial and Automobile</i> | Page 7 |
| <i>5. Public Buildings</i> | Page 8-9 |
| <i>6. PEB/Logistic Warehouses</i> | Page 10-11 |
| <i>7. Structural Audit</i> | Page 12 |
| <i>8. Current Projects</i> | Page 13 |

KEY PERSONNEL

Er. I S Chauhan: An alumni of NIT Rourkela, holds B.(Engg)1988 M. Tech2013,MBA(NMIMS), MIE, FIV. An alumni of NIT Rourkela, **I S Chauhan** holds Bachelor of Civil Engineering M.Tech (Structural Engineering , MBA (NMIMS), to his credit, Corporate Member of Institution of Engineer, fellow of Institution of Valuers, Fellow of Indian Association of Structural Engineering, Registered Valuer u/s 34 AB Income Tax and u/s 247 of Company ACT(IBBI) holding. has been visiting faculty in Engineering Institute viz. Apeejay Styra and Ansal University

- **Registered Structural Engineer and Proof Consultant in DTCP Haryana**
- **Holding Consultancy firm as I S Chauhan & Associates** and having 36 years of experience in developing the region, handling change of Land use, Environment Impact Assessment for building projects and approval of building plans, design, construction and commissioning of projects.
- Providing Consultancy to leading Govt. organizations: RITES, Haryana Tourism, PWD etc.
- Providing Consultancy to leading Private industrial and commercial groups in NCR and PAN India
- Handling Residential, Commercial, and Industrial, Warehouse, Institutional and Public buildings. Multi-storey, Multi-span RCC and Steel buildings (Conventional and PEB)
- Structural Auditing of Multistoried buildings

S.No.	Name and Address and employer	Projects	Period of Service		Designation
			From	To	
1	AAR KAY Engineers 114, Hari Shah Sikandrabad	Industrial Projects like NUWUD, Kothari Fermentation	Aug 1988	Aug 1993	Civil Engineer
2	Naveen Industrial Projects 235, Okhla Industrial Estate Phase III, New Delhi	Industrial Project like Grasim Cement and Housing Colony	Aug 1993	Apr 1996	Sr Engineer Civil
3	Anfilco Housing Colony, Old Delhi Road, Gurgaon	Group Housing Colony	Apr 1996	Nov 1999	Deputy Manager
4	I S Chauhan & Associates Public Buildings for Organization Viz. PWD,RITES, HUDA, HSAMB, Haryana Tourism, IFCD etc and Private Commercial , Residential Warehouse and Institutional Buildings	Miscellaneous projects	Dec 1999	Still Working	Principal Structural Engineer/Proprietor

Er. VIKRAM KUMAR JANGRA B Tech Regional Engineering College (now NIT), Kurukshetra, in 1999

is a seasoned civil engineer with 25 years of experience in the industry. He graduated with a Bachelor of Technology in Civil Engineering from Regional Engineering College (now NIT), Kurukshetra, in 1999, with honor and post-graduated in Construction Management from NICMAR. A Chartered Engineer and a member of the Institution of Engineers (India), he is also affiliated with many professional bodies, including the Indian Concrete Institute, Indian Society of Structural Engineers, Indian Society for Non-Destructive Testing, and the Indian Institute of Bridge Engineers. He is registered as Structural Engineer with Municipal Corporation, Delhi (MCD). During his professional career, worked for companies such as Larsen & Toubro (L&T), Gammon India, Ultratech Cement, and ACC Ltd., contributing to a wide range of civil engineering infrastructure development projects. He possesses exhaustive experience in Concrete Technology, Structural assessment, Non-destructive Testing & Evaluation of built environment, Specialized Repair, Retrofitting, Rehabilitation & Strengthening of structures, Construction Quality Assurance/Quality Control (QA/QC). His portfolio includes hundreds of projects **focused on structural assessment, audits**, and nondestructive evaluation across various types of structures. His expertise has significantly contributed to the safety and reliability of these buildings and infrastructure.

Ar. MURLI MANOHAR B. ARCH, MCA, FIV

Architect-Since 2000 in IS Chauhan & Associates

B. Arch (SPA , New Delhi), blessed with innovative and creative ideas . His philosophy of design is function with aesthetics. His professional career spanning 44 years by a number of projects in NCR.

Er Surbhi Shukla B.Tech Civil (2012)

Experience of Steel and RCC Multistory buildings

Er Sahil Yadav B.Tech Civil (2015) M.Tech Structure 2018

Experience of Steel and RCC Multistory buildings

Er Navneet Kumar B.E. (Civil)1996, M. Tech (Structure)2008

Executed many projects in the group Krishna Engg , Parshvnath developer and I S Chauhan & Associate

GROUP HOUSING AND Multistoried

1	GROUP HOUSING COLONY, SOUTHEND FLOORS, SOHNA ROAD, GURGAON	S.S. GROUP (G+2)	New Delhi	2001	2003
2	GROUP HOUSING COLONY, PLOT No. 80, SEC.-56, GURGAON	HARYANA CITIZENS C.G.H.S. LTD. (Stilt+8)	Lucknow	2004	2007
3	GROUP HOUSING COLONY, RUDRA PUR, UTTRANCHAL	ALL- GRACE DEVELOPERS (P)LTD. (Stilt+8)	Gurgaon	2007	2012
4	GROUP HOUSING COLONY, MIA LEGACY, PLOT No.- GH- 01, ZETA-01, GREATER NOIDA, U. P.	MI BUILDERS (B+Stilt+21)	Lucknow	2007	2010
5	SONI PALM CITY, SECTOR32, KARNAL	SONI REALTORS PVT. LTD Design of Services	Gurgaon	2011	2014
6	GROUP HOUSING, FARIDABAD	SHIV SAI INFRA (Stilt+4)	Faridabad	2014	2016
7	GH 22 IMT MANESAR	VIKAS SADAN COOPERATIVE (Stilt+10)	Gurgaon	2014	2022
8	GH 48 IMT MANESAR	ROYAL FAMILIES (Stilt+8)	Gurgaon	2015	2022
9	GH6/B,CHAI-V, Greater Noida	SAMPADA LIVIA (B+Stilt+25)	Greater Noida	2020	2023

PRIVATE IT/CORPORATE

S. No	Name of work	Name of client	Address of client	Start	Completion
1.	IT Building Knowledge Park Sector-125, Noida	Spice Infrastructures (B+Stilt+8)	Noida	2009	2011
2.	Corporate Office- 34, Sec-32, Gurgaon	Indo Nippon (B+Stilt+3)	Gurgaon	2005	2006
3.	Corporate Office- D-19, Sec-33, Info City, Gurgaon	Kraft Land (B+Stilt+3)	Gurgaon	2006	2007
4.	Corporate Office- 18, Sec-32, Gurgaon	Supercat Advertiser (B+Stilt+3)	Gurgaon	2008	2012
5.	Corporate Office- 86, Sec-32, Gurgaon	Informatics Computer (B+Stilt+3)	Gurgaon	2008	2012
6.	Corporate Office-6, Sec-44, GGN	Krish Realtor (B+Stilt+6)	Gurgaon	2010	2012
7.	Block 1&2 Cyber Park Sec58	B1,B2&B3,G+22	Gurgaon	2018	2023

INDUSTRIAL PROJECTS

S. No	Name of work	Name of client	Address of client	Start	Completion
1	Factory Building-Daultabad	Nippon Steering & Suspension	Gurgaon	2000	2001
2	Factory Building , Kherki Daula,	Lift Mark	Gurgaon	2000	2001
3	Factory Building, Gurgaon	High temp furnaces Ltd	Gurgaon	2000	2001
4	Factory Building Bhondsi,	JKM Oversees Ltd.	Gurgaon	2001	2002
5	Factory Building , Khandsa,	Magnum Strips	Gurgaon	2001	2002
6	Factory Building , Khandsa	Prerna Rex	Gurgaon	2002	2003
7	Factory Building , Khandsa,	Kamal Rub-Plast	Gurgaon	2002	2003
8	Factory Building , Khandsa,	Mod Serap	Gurgaon	2002	2003
9	Factory Building, Bhondsi	V.K. Rub- Plast	Gurgaon	2003	2004
10	Factory Building , Khandsa,	Jain Textile	Gurgaon	2003	2004
11	Factory Building , Khandsa,	Knit and Weave	Gurgaon	2004	2005
12	Factory Building , Khandsa,	Flocksor	Gurgaon	2004	2005
13	Factory Building- Fazilpur Jharsa	Mr. Parashar	Gurgaon	2006	2008
14	Factory Building, Fazilpur Jharsa	Suntex	Gurgaon	2008	2009
15	Factory Building, Khandsa,	Interlink	Gurgaon	2009	2010
16	Factory Building-26, Sec4	Carlton Overseas	IMT Manesar	2001	2002
17	Factory Building-183, Sec4	Aero Exports	IMT Manesar	2001	2002
18	Factory Building-89, Sec3	A.V. Engineers	IMT Manesar	2001	2002
19	Factory Building- 125, Sec5	Packart	IMT Manesar	2001	2002
20	Factory Building-110, Sec3	Indrani Auto	IMT Manesar	2003	2004
21	Factory Building-245, Sec7	Mechliv, Hightech	IMT Manesar	2003	2004
22	Factory Building-215, UV-PhI	Radnik Export	Gurgaon	2003	2004
23	Factory Building-24, Sec-4	Rollex Hosiery	IMT Manesar	2003	2004
24	Factory Building-287, Sec6	Rainbow Petro	IMT Manesar	2003	2004
25	Factory Building-283, Sec6	Everfine Ind.	IMT Manesar	2004	2005
26	Factory Building-260, Sec6	Archies	IMT Manesar	2004	2005
27	Factory Building-280, Sec7	Radhika	IMT Manesar	2004	2005
28	Factory Building-300, Sec6	PCI	IMT Manesar	2004	2005

29	Factory Building-275, Sec7	Aaka Inter	IMT Manesar	2004	2005
30	Factory Building-194, Sec3	Trimco	IMT Manesar	2004	2005
31	Factory Building-285, Sec6	RCR Corporation	IMT Manesar	2004	2005
32	Factory Building-17, Sec4	Gurmail	IMT Manesar	2005	2006
33	Factory Building-176, Sec4	MDLR Group	IMT Manesar	2005	2006
34	Factory Building-80, Sec4	Milano	IMT Manesar	2005	2006
35	Factory Building-14, Sec4	Corozo Fashion	IMT Manesar	2006	2007
36	Factory Building-351, Sec8	New Look Metal	IMT Manesar	2006	2007
37	Factory Building-319, Sec8	Ashok Gupta	IMT Manesar	2006	2007
38	Factory Building-42, Sec8	Jyoti Kaushik	IMT Manesar	2006	2007
39	Factory Building-390, Sec8	M Chawla	IMT Manesar	2007	2008
40	Factory Building-202, Sec4	Radnik Export	IMT Manesar	2007	2008
41	Factory Building-490, Sec8	Anuma	IMT Manesar	2008	2009
42	Factory Building-322, Sec8	Papilon	IMT Manesar	2008	2009
43	Factory Building-348, Sec8	Avtar & Inderjeet	IMT Manesar	2008	2009
44	Factory Building-301, Sec7	Walia	IMT Manesar	2008	2009
45	Factory Building 421, UV-VI,	Simran International	Gurgaon	2009	2010
46	Factory Building ,SP 348, Bhiwadi	Kopertek	Bhiwadi	2010	2011
47	Factory Building-244/17,	Kraft Land	Bahadurgarh	2010	2011
48	Factory Building-32, Sec-18,	Sharp Ind.	Gurgaon	2010	2011
49	Factory Building-371, UV-IV	BPL	Gurgaon	2010	2011
50	Factory Building, Ludhiana	Gautam Export	Ludhiana	2012	2012
51	Factory Building Khandsa	Visitech Engineers	Gurgaon	2013	2015
52	Factory Building 183, Sec4	SGM Paper		2017	2019
53	Factory Building 451-452, Sec8	SGM Paper	IMTManesar	2020	2021
54	Factory Building 451-452, Sec8	Mr Shailender		2020	2021

COMMERCIAL

S. No	Name of work	Name of client	Address of client	Start	Completion
1	SCO-15-16, Sec-31, Gurgaon	Mr. Tarsem Sharma	Gurgaon	2002	2003
2	SCO-11-12, Sec-31, Gurgaon	Mr. Sanjeev Kapoor	Gurgaon	2006	2007
3	SCO-37, Sec-14, Gurgaon	Mr. Anil Malhotra	Gurgaon	2006	2007
5	SCO-54, Old Judicial Complex, Gurgaon	Mr. Surender Gahlot	Gurgaon	2010	2011
6	Hotel,32Mile Stone, Gurgaon	Apra Motel	Gurgaon	2010	2011
7	Commercial Complex Sitarganj	All Grace	Uttarakhand	2007	2011
8	Regent Square Mall Commercial, Neemrana,	Regent Square	New delhi	2012	2014
9	Maruti Service Centre (Work Shop) Mundka, Delhi	Mr. Bipin Puri	New Delhi	2014	2016
10	Commercial Complex, Chatarpur Chatarpur, M.P.	Mr. J. K. Gupta	Chatarpur	2013	2016
11	Spaze Recreational Centre, Sohna Road, Gurgaon	Spaze Recreational	Gurgaon	2013	2017
12	Malibu Town Dispensary, Sohna Road, Gurgaon	Mr. Mukesh Yadav	Gurgaon	2013	2017
13	SCO- 208,209,210, Sec-9, Gurgaon	IES EMDESCON	Delhi	2013	2017
14	Multilevel Warehouse Kapashera, Delhi	Mr. Sanjay Juglan	Delhi	2016	2017

Auto- mobile Service centre

S. No	Name of work	Name of client	Address of client	Start	Completion
1	HUNDAI Service Centre Mehrauli Road	Amar jit Grover	Gurgaon	2004	2005
2	Maruti Service Centre (Work Shop) Mundka, Delhi	Mr. Bipin Puri	New Delhi	2014	2016

PUBLIC BUILDINGS

S.No	Name of work	Name of client	Address of client	Start	Completion
1	Community Centre, Sukhrali Gurgaon	DDPO	Gurgaon	2001	2002
2	Confectionery Shop, Badkhal, Faridabad	Haryana Tourism	Chandigarh	2003	2004
3	Haat Bazar, Oasis, Karnal	Haryana Tourism	Chandigarh	2001	2002
4	Sport Complex, Bhondsi	DDPO	Gurgaon	2003	2004
5	Jindal School	DDPO	Gurgaon	2002	2003
6	Govt. High School, Sukhrali, Gurgaon	DDPO	Gurgaon	2003	2004
7	Lecture Theatres at DSD College, Gurgaon	PWD	Gurgaon	2003	2004
8	Kisan Bhawan, Ferojpur, Jhirka	HSAMB	Gurgaon	2002	2003
9	Teaching Block, Govt. Polytechnic, Manesar	PWD	Gurgaon	2004	2007
10	B Ed College, Gurgaon	Ch Pratap Singh Memorial Trust	Gurgaon	2005	2006
11	Hostel Govt. College, Gurgaon	PWD	Gurgaon	2006	2007
12	Hostel, Universal Public School, Ghosgarh	Rohini Education Society	Delhi	2006	2008
13	Hospital, Jharsa Road, Gurgaon	Orbit Hospital	Gurgaon	2007	2010
14	School Building, Charkhidadari	R E D School	Charkhidadari	2007	2009
15	Centre of Excellence, ITI, Gurgaon	PWD B&R Prov. Div-IV	Gurgaon	2007	2009
16	Primary Health Centre	PWD	Wazirabad	2008	2010
17	Primary Health Centre	PWD	Pataudi	2010	2011
18	Restaurant, Dharuhera	Haryana Tourism	Dharuhera	2009	2010
19	Restaurant, Dundahera	Haryana Tourism	Dundahera	2010	2010
20	Restaurant, Damdama	Haryana Tourism	Damdama	2011	2011
21	Engineering College	BKK Charitable	Bahadurgarh	2010	2011
22	Toll Canopy, MG Road, Gurgaon	RITES	MG Road, Gurgaon	2011	2011
23	School Building, Dharampur, Gurgaon	PCT	Gurgaon	2009	2011
24	Hospital, Alipur, Sohna Road, Gurgaon	Saxena Naturopathy Centre	Gurgaon	2011	2012
25	Sulabh Shauchalay Nuh, Mewat	HSAMB	Gurgaon	2005	2006

26	8No. Lecture Rooms, Canteen, Parking, Shed 7 Entrance Hall, Govt. College Sidhrawali	PWD B & R Provincial Divn-IV	Gurgaon	2006	2007
27	Water Supply & Sewerage Scheme For Kisan Bhawan F. Jhirka & Punhana	HSAMB	Gurgaon	2005	2006
28	Girls Hostel, Govt. College (W) Gurgaon	PWD B&R	Gurgaon	2006	2007
29	ITI Sohna Building	PWD B&R	Sohna	2008	2012
30	University of Allahabad	BITES	Allahabad	2010	2014
31	Community Centre, Daultabad	Gram Panchayat	Daultabad	2011	2014
32	Stadium, Sohna	PWD	Sohna	2011	2014
33	Hostel Building, Jamia Millia	BITES	New Delhi	2013	2015
34	Baya Tourist Complex- Bhiwani, Haryana	Haryana Tourism	Faridabad	2014	2016
35	DCP Office Cum Police Station IGI Airport, New Delhi	NMS Enterprises / NBCC	New Delhi	2014	2016
36	Cremation Ground- Azadpur, New Delhi	Irrigation & Flood Control	New Delhi	2014	2016
37	IHM – Panipat	Haryana Tourism	Chandigarh	2014	2016
38	Convention Center- Bahadurgarh, Haryana	Haryana Tourism	Faridabad	2014	2015
39	Govt. College, Sec- 14, Gurgaon	PWD	Gurgaon	2015	2016
40	Dronacharya College, Gurgaon	PWD	Gurgaon	2015	2016
41	District Library, Gurgaon	PWD	Gurgaon	2013	2016
42	Temple- Sector- 9A, Gurgaon	Vishwa Jagrati	Gurgaon	2012	2016
43	Community Centre Hazipur	Panchayat Raj	Gurgaon	2018	2019
44	Community Centre Chandu	PWD	Gurgaon	2018	2019
45	Multipurpose Hall Sehjaswas	Panchayat Raj	Gurgaon	2018	2019
46	SD Heritage Sr Secondary School	Mr Taneja	Gurgaon	2018	2019
47	RUDSET Institute Fatehpur Nawada, Gurgaon	RUDSET	Gurgaon	2014	2021

PRE ENGINEERED BUILDING/ LOGISTIC WAREHOUSE

S. No	Name of work	Name of client	Address	Start	Completion
1	Warehouse-Begumpur Khtaula,	H.V. Exports	Gurgaon	2000	2001
2	Warehouse-Sahibabad,	TIL	New Delhi	2001	2003
3	Warehouse- Naurangpur	Jaipur Golden Tracsport	New Delhi	2003	2004
4	Warehouse192,Bagru Ind	Wood Fab India (P) Ltd.	Jaipur	2003	2004
5	Warehouse- Binola	Om Logistics Ltd.	Gurgaon	2004	2005
6	Warehouse-Sidhrawali	Galaxy Polymers	Gurgaon	2004	2005
7	Warehouse- 240, Sec-3, Bawal,	Sulaiman Bliss Petrotech	New Delhi	2004	2005
8	Warehouse-Haridwar	Noble Mould	Noida	2005	2006
9	Warehouse Sec-3, Bawal	Flexi Pack Ind.	Gurgaon	2005	2006
10	Warehouse- Narsinghpur	Oriental Structures	Gurgaon	2006	2007
11	Ware House, Darbaripur,	Case &Components Con	Gurgaon	2006	2009
12	Warehouse- Bawal, Rewari	Stelco	Gurgaon	2007	2008
13	Warehouse- Roz Ka Meo,	XLP	Gurgaon	2007	2008
14	Warehouse- Tauru	Evergreen	Gurgaon	2008	2009
15	Warehouse- Bhora Kalan	Ramkisan	Gurgaon	2011	2010
16	Warehouse- Fatehpur-Jaurasi	Leena Maggon	New Delhi	2011	2011
17	Warehouse- Fatehpur, Jaurasi	GKP Merchant	Gurgaon	2011	2012
18	Warehouse- Bhora Kalan	Bhagwan & Brothers	Gurgaon	2011	2012
19	Warehouse-Daboda,F.Nagar	BR Warehousing	Gurgaon	2012	2012
20	Warehouse-Fatehp	Surender Singh	Gurgaon	2012	2013
21	Warehouse-Tajnagar	MukeshYadav/Schenker	Gurgaon	2013	2014
22	Warehouse- Fatehpur Jaurasi	Rajinder Bhatti/Holiso	Gurgaon	2013	2014
23	Ware House- Fatehpur	ParmanandYadav/Geodis	Gurgaon	2014	2015
24	Ware House- Sidhrawali	Rakesh Yadav/VRL	Gurgaon	2014	2015
25	Warehouse- Gadauli	Beam Global Sprit Wine	Gurgaon	2014	2015
26	Warehouse- Rathiwas	R.Suhag/Narolac	New Delhi	2014	2015
27	Warehouse Tauru	Praveen Yadav/Geodis	Gurgaon	2017	2019
28	Warehouse Naurangpur	Vishal Yadav/ Ultracon	Gurgaon	2017	2018
29	Ware House- Bhorakalan	Sumit Yadav/ Delhiery	Gurgaon	2013	2020
30	Ware House- Bhorakalan	SS Enterprise/VRL	Gurgaon	2016	2019
31	Ware House-Chandu	Surjit Yadav/Big Basket	Gurgaon	2019	2020
32	Warehouse-Tauru	Jaiwir/Ecom	Gurgaon	2019	2021
33	Warehouse-Bhorakalan	Cosmos/Iron mounting	Gurgaon	2019	2021
34	Warehouse-Jhamuwas	Inderjit/Ecom	Gurgaon	2019	2021
35	Warehouse-Sanpka	/Leeladhar Pasoo LLP	Gurgaon	2019	2021

STRUCTURAL AUDITING

S.No	Name of work	Purpose	Name of client	Address	Start	Completion
1.	IT Building Knowledge Park Sector-125, Noida	Load capacity enhancement	Spice Infrastructures	Noida	2009	2011
2.	Plot No 61 , Sector 18	Removal of intermediate columns	Mr Yadav	Gurgaon	2010	2011
3.	Tapasya Corporate Heights, Golf Course Road, Sector-53,	Evaluation for Procurement	Canara HSBC OBC LIC Ltd	Gurgaon	2012	2012
4.	Splendor Trade Tower, Golf Course Extension Road, Sector-65,	Evaluation for Procurement	-DO-	Gurgaon	2012	2012
5.	Success Tower, Golf Course Ext Road,Sec-65,	Evaluation for Procurement	-DO-	Gurgaon	2012	2012
6.	Part 1, Continental Automotive Components (India) Pvt Ltd, No 16 Sec 5	Load Bearing of floor	Continental Automotive Components	IMT Manesar	2019	2020
7.	Civil Hospital Civil Line	Structural Safety Declaration	PWD	Gurgaon	2019	2020
8.	Warehouse(old) PEB	Strengthening to retain structure	Hitech warehousing	Gurgaon	2020	2021
9.	Civil Hospital Sector 10	Feasibility of additional floors	PWD	Gurgaon	2020	2021
10.	GH6/B,CHAI-V, Greater Noida	Structural Condition audit	SLB Welfare	Greater Noida	2020	2020
11.	Uni-world City Sec30	Structural Condition audit	BOM Uniworld	Gurgaon	2022	2023
12.	Phase- 5, residential towers at SARE homes Sector 92	Structural Condition audit	SARE Homes	Gurgaon	2022	2023
13.	Chintel Paradiso Sector 109	Structural Condition audit	ChintelsParadiso Inquiry Com	Gurgaon	2022	2024

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CURRENT DESIGN PROJECTS SUMMARY

S.No	Name of work	Category	Name of client	City/Distt	Start
1.	Warehouse- Sanpka,Pataudi Rd	Steel PEB 16.8Acre	RamSingh	Gurgaon	2019
2.	Warehouse-New- Uton,Pathredi	Steel PEB 6.8Acre	Hi-tech	Gurgaon	2019
3.	Warehouse-Uncha Majra	Steel PEB 6.5Acre	Narender	Gurgaon	2019
4.	Warehouse- Narhera Pataudi	Steel PEB 4.8Acre	Manesh Yadav	Gurgaon	2021
5.	Warehouse- Luhari	Steel PEB 3.5Acre	Jai Prakash	Jhajjar	2021
6.	Warehouse-Jaurasi	Steel PEB 3.5Acre	Rajinder Bhatti	Gurgaon	2019
7.	Warehouse-Uncha Majra Patau	Steel PEB 8.5Acre	Jai Singh & others	Gurgaon	2022
8.	Warehouse-Shahpur	Steel PEB 5.5Acre	Kaushalya Devi	Gurgaon	2022
9.	Warehouse- Luhari	Steel PEB 11.0Acre	Mrs Mona Sehgal	Jhajjar	2022
10.	Daffodil-Artemis Hospital (B+G+6) RCC	RCC 1.3 Acre	RNY Healthcare	Gurgaon	2023
11.	Smarten Power, 3/7A,MET (G+2) Steel	Steel PEB 1.0 Acre Industrial	Smarten	Jhajjar	2023
12.	Area Rota & Electricals	Steel PEB 1.0 Acre Industrial	Vipin Arya	Jhajjar	2023
13.	J-79,J82,J83,J84 in Adani Sansara (Stilt + 4)	RCC 200 to 500 m2	ECO ART	Gurgaon	2022
14.	1852P Sector 52	RCC 200 m2	IAD	Gurgaon	2022
15.	Nursery School Plot No 7 , Sec 43	RCC 600 m2	Kapil Munjal	Gurgaon	2023
16.	Kailash Hospital	2.5 Acre	Kailash Group	Neemrana	2023
17.	Warehouse- Sehsola	Steel PEB 11.3Acre	Manesh Yadav	Gurgaon	2023
18.	Tata Motors Workshop	Steel PEB	Pasco	Gurgaon	2023

Architectural & Structural Consultant

- ❖ Registered Engineer: HUDA , PWD , RITES , Municipal Corpn
- ❖ Registered Valuer : Income Tax, Institution of Valuers, Banks

Regd. Office : 2039, Sector46, Gurgaon122003

Branch Office : 1st Floor ,SCO 30, HUDA Market,
Sohna Chowk, Gurgaon 122001E-mail: is.chauhanarch@gmailcom
is.chauhan@rediffmail.com

To-

The Resolution Professional

In the Matter of M/s Ansal Properties and Infrastructure Limited (Project- FERNHILL)

SCO 818, Second Floor, above YES Bank, NAC, Manimajra, Chandigarh- 160101

Subject: Quotation for Conducting Structural Auditing

Comprises of 14 towers at different stages of construction

SCOPE AND METHODOLOGY :-

The structural audit will involve a comprehensive assessment of the structural integrity, safety, and stability of the buildings

A. Visual inspection of the building structures, including foundations, columns, beams, and slabs.

Visual inspection for surface damages, flaking, coloration, local weakness, etc . The visual inspection shall largely cover areas of high distress, abnormal variations in structure, Visual inspection would be documented in the form of worksheets, photographic records, and distress, Deflections, cracks (if any) shall be marked.

B. Assessment of the condition of structural elements and identification of any signs of distress, deterioration, or structural deficiencies.

It is to be mentioned here that 100% testing is neither feasible in existing building nor viable.

We are covering 2% elements in general and visible area of distress for representation of entire building.

Available scanned copies of drawings will make it complimentary for reinforcement mapping.

Following tests shall be done as per standard practice of auditing.

- i. Placement of Reinforcement for matching with drawing and measurement of cover by cover meter and corrosion test
- ii. NDT- testing of quality of concrete: viz Rebound Hammer , UPV, Carbonation, chloride content and pH Value
- iii. Core Test extraction and testing in lab approved by NABL
- iv. Extraction of some reinforcement bars and testing in lab approved by NABL

C. Evaluation of the seismic resilience and compliance with relevant building codes and standards.

- i) Develop 3D Model using STAADPRO model and evaluate building to the seismic resilience and compliance with relevant building codes and standards
- ii) Tabulate structural deficiencies, comparing test data with structural design requirement vis-à-vis site investigation report. Hence indicating level of failure.

D. Recommendations for necessary repairs, retrofitting, or strengthening measures to ensure the long-term safety and durability of the structures.

(For I S Chauhan & Associates)

STRUCTURAL AUDIT OF PROJECT FERNHILL SITUATED AT SECTOR 91, GURGAON

Scope of work :Comprehensive assessment of the structural integrity, safety, and stability of the buildings in the project

Project details : 13 nos residential towers with partial built-up floors and approx. existing builtup area of 6.25 lakhs sqft

Sr.No	Description	Unit	Quantity	Unit Rate (INR)	Total (INR)
A) Part A-Visual inspection of the building structures, including foundations, columns, beams, and slabs.					
1	Visual Inspection : Visual inspection for surface damages, cracks, flaking, local weaknesses, etc and their damage classification. Visual inspection shall largely cover areas of high distress, cracks and their location, moisture, leakage, abnormal variations in structure, algae and fungus growth, efflorescence, etc. Visual inspection would be documented in the form of worksheets, photographic records	Sqft	625000	0.25	1,56,250.00
B) Assessment of the condition of structural elements and identification of any signs of distress, deterioration, or structural deficiencies by Carrying out various Non - Destructive / Semi destructive tests at the required locations :					
1	Rebound Hammer Test : For determining the estimated compressive strength of concrete and uniformity of concrete in terms of surface hardness as per IS 13311 (Part-2)-1992, also establishing correlation chart between rebound hammer and other confirmatory test for estimated in-situ strength of concrete if required.	Nos	1290	250	3,22,500.00
2	Ultrasonic Pulse Velocity Test: for ascertaining the quality of concrete (core and cover), soundness and density of concrete, uniformity of concrete in terms of density as per IS 516 (Part5 /Sec 1) 2018 , using surface velocity methods at required location for cover concrete and cross direct transmission method for core concrete.	Nos	1290	400	5,16,000.00
3	Concrete Core compressive strenght test: Extracting the concrete core samples at select locations from RCC members of the structure covered under study and evaluating the properties fck value, grade of concrete in the laboratory from the core samples selected as per IS 456:2000 ; IS516: 1959; IS 1199:2002; without encountering any steel reinforcement in the RCC members at specified locations.	Nos	144	3000	4,32,000.00
5	Corrosion Test (Half Cell potential Test) : Measuring the Half Cell Potential on concrete surface in a suitable grid / points for determining the probability of corrosion activity of embedded steel reinforcement in concrete with specified half cell electrode in accordance with ASTM C876	Nos	144	750	1,08,000.00
4	Concrete cover measurement : Measurement of thickness (max, min and average) of concrete cover to reinforcement bars at specified locations of RCC elements by cover meter test as per BS:1881 using Profometer.	Nos	144	200	28,800.00
6	Carbonation Test: Measurement of carbonation depth by phenolphthalein spray test at selected location on RCC members of the structures covered under the study to see the depth of carbonation as per BS EN 14630	Nos	144	150	21,600.00
7	Chemical test Chloride, Sulpahte content and pH value test : to check the risk of corrosion , test as per IS: 14959 (Part 2)-2001, B.S. 5328 part 1, ACI 201.2R-92, BS1881 Part 124:1988, BS 8110, IS 456:2000.	Nos	23	2000	46,000.00
8	Reinforcement steel bar mapping and verification : capturing the reinforcement bar details of RCC elements (at sample location) like columns , beams , slab & foundations etc using Profometer line/area scan and comparison of details with GFC drawings. (physical verification of steel bar diameter will also be done as per requirement)	Nos	130	750	97,500.00
9	Reinforcement steel Testing: Reinforcement steel bar sample extraction of various dia (8,10,12,16,20,25,28mm)and testing for mechanical properties. 3 samples of each dia	No	21	1000	21,000.00
C) Part- C Evaluation of the seismic resilience and compliance with relevant building codes and standards by Structural Analysis					
1	Structure Analysis: Analyse the structure as per current condition in earthquake / wind zone as per IS 456,IS 1893 and IS 875	Sqft	625000	1.5	9,37,500.00
2	Tabulate structural deficiencies, comparing test data with structural design requirement vis-à-vis site investigation report. Hence indicating level of failure.	Sqft	625000	0.5	3,12,500.00
D) Part -D : Recommendations for necessary repairs, retrofitting, or strengthening measures to ensure the long-term safety and durability of the structures.					
	Providing methodology for improvement of structure against deficiencies by way of retrofitting and strengthening.	Sqft	625000	0.5	3,12,500.00
TOTAL					26,87,150.00

TERMS & CONDITIONS:

- 18% GST shall be extra.
- 50 % Advance Payment with work order and balance, 25% at completion of Site activities and Balance 25% at submission of report.
- Complete set of structural drawing for all towers shall be made available by client
- Non availability of structural drawing will attract additional cost of reinforcement mapping and preparation of drawing @ Rs 1.50 Per Sq Ft
- Assumed considered built up area 625000 Sq.Ft(subject to increase or decrease) shall be billed quantified after site survey.
- Water, electricity to agency as per their requirement shall be provided by client.
- Ladders scaffolding any to work/ platform at required test locations shall be provided by client
- Plaster shall be removed at the test locations (approx. 6x6 inches) by chipping by testing agency.
- Repairing of chipped off plaster shall not in scope of testing agency. •
- Drilled holes after core sample extraction shall be filled up using micro concrete at site by testing agency. •
- Unrestricted movement to testing agency team in the project area shall be permitted by customer during the working hours i.e. 09:00 am to 06:00 pm.
- Mobilisation time : 7 working days after issue of W.O. along with advance
- Timeline for completion of work : Site activity & report preparation within 60-90 days
- Any delay due to situation beyond control shall be considered and permitted.
 - Due to Force Majeure
 - Due to Exceptionally inclement weather
 - Due to fire and earthquake
 - Due to Civil commotion, lockout, strike etc
 - Due to pandemic like covid etc.



I S Chauhan

(For I S Chauhan & Associates)



To,

Mr. Jalesh Kumar Grover

(Resolution Professional)

In the Matter of M/s Ansal Properties and Infrastructure Limited

(Project- FERNHILL)

Reg. Office: SCO 818, Second Floor,
above YES Bank, NAC, Manimajra,
Chandigarh- 160101

Subject : Proposal for Structural Consultancy Services for Existing Group Housing Project 'Fernhill' at Sector-91, Gurugram, Haryana of M/s Ansal Properties & Infrastructure Limited.

Dear Sir,

In reference to you mail & Invitation for the above said subject dated 19.07.2024 and subsequent to the required documents shared by you 26.07.2024, we are pleased to submit our Best Proposal for the Structural Consultancy Services of above said existing Building structure.

Hope to find the above in order.

For any clarifications please feel free to contact us.

Thanks & Regards,

Vineet Lochan Gupta
+91 9818578080

SAVE TECHNO ENGINEERS

*** Project Managers * Structural & MEP Consultant * Building Engineers***

614-P, Sector - 22A, Gurgaon - 122015, Haryana

Ph. : 0124 - 4572379

E-mail : info@savetechno.com, savetechengg.614@gmail.com

Web : www.savetechno.com



CONTENTS

<u>S. No.</u>	<u>DESCRIPTION</u>	<u>PAGE NO.</u>
A.	Project Brief	03 - 03
B.	Remittances by Client	03 - 03
C.	Scope of Work	04 - 04
D.	Time Line	05 - 05
E.	Fee & Fee Schedule	06 - 06
F.	Payments Clarifications and Terms & Conditions	07 - 08



A. PROJECT BRIEF BY CLIENT :

Following inputs received from Clients end :

Fernhill Project (Group Housing) of M/s Ansal Properties & Infrastructure Ltd. located at Sector- 91, Gurugram.

Scope of works : The structural audit will involve a comprehensive assessment of the structural integrity, safety and stability of the building as per the scope defined by RFP document.

The scope of work will include, but is not limited to, the following:

1. Visual inspection of the building structures, including foundations, columns, beams, and slabs.
2. Assessment of the condition of structural elements and identification of any signs of distress, deterioration, or structural deficiencies.
3. Evaluation of the seismic resilience and compliance with relevant building codes and standards.
4. Recommendations for necessary repairs, retrofitting, or strengthening measures to ensure the long-term safety and durability of the structures.

B. REMITTANCES FROM CLIENT :

To complete the Scope of works as mentioned above, STE required following mandatory inputs / information / documents from the Client / Main Consultant :

1. Design Basis Report (DBR) of existing Building Structures.
2. Soil Test & Water Test Reports.
3. Architectural, Structural Drawings & BOQ i/c Specifications & list of Makes (both soft & hard copy in readable print)
4. Analytical model (Staad / E-Tab) & Design Calculations. (soft copy)
5. Survey drawings, geotechnical information, and local code restrictions required to execute the Scope of Work. (soft copy)
6. NDT Reports (if any) (Soft copy & hard copy in readable print)
7. All the F.Q.A. Test Reports including RMC Design Mix & Other Tests etc. done during Construction works.
8. Any other information / documents requested by STE to complete the services.



C. **SCOPE OF WORK :**

Scope of Structural Consultancy services shall be as follows :

1. Site Visit, Visual / Physical Inspection of the Building Structure i/c foundations, Columns, Beams & Slabs and Assess the conditions of Structural elements and identification of any signs of physical distress, deterioration or structural deficiencies.
2. Submission of Site Visit / Physical Observation Report & recommendation of NDT (Non-Destructive Tests), NDT locations, nos. based on Site Visit / Visual Inspection.
3. NDT conducted at site & Submission NDT Report. **Note :** *NDT Agency (NABL Approved Lab) to be appointed by Client directly / or required STE will assist the Client and Charges of NDT shall be paid by Client directly to the appointed NDT Agency.*
4. Study of available Analytical Models, Drawing, Documents, Design Calculations, F.Q.A. Test Reports, NDT Reports, E-Tab Modeling to be re-done by STE and after Re-modelling & analyzing / scrutinizing the drawings / documents, STE will submit the Structural Audit Report.
5. Submission of Repairs & Retrofitting's / Strengthening Analytical Model, Drawings, details.
6. Project management for Repairs & Retrofitting works - Pre to Post Construction, based on the E-Tab Models, Retrofitting's Design / Drawings submitted for Repairs / Retrofitting's and suggested remedial shall be done at site under our Supervision. (if required) - Fees shall be charged extra and submitted later upon approval by Client.



D. TIME FRAME

To complete the above scope following are the tentative Time frame as per below schedule.

S. NO.	WORK	TIME FRAME
a)	Mobilization Time	15 working days after receipt of Advance and Work Order / Acceptance of this Offer.
b)	Site Visit & Visual Inspection & Submission of Site Visit Report	40-50 working days after confirmation of Visit from Client.
c)	NDT Tests & Submission of Report	10-15 working days after availability of proper access and arrangement done by Client to carry out tests at site.
d)	Step - 4 : Study of available Models, Drawings, Design Calculations, Reports, F.Q.A. Test Reports etc.	75-90 working days after submission of NDT Reports.
e)	Submission of Structural Audit Report	45-60 working days after serial no. (d)
f)	Submission of Retrofitting Design / Documents	150-180 working days after serial no. (e)
g)	Submission of Tender documents & drawings	75-90 working days after confirmation & approval of Retrofitting's Design by the Client.
h)	Step - 7a : Project Management (Pre-Construction)	60-90 days working days after confirmation by Client.
	Step - 7b : Project Management (Construction Stage)	To be decided after award of works to the Retrofitting Agency.



E. SCOPE OF CONSULTANCY FEE :

E.1 Fee:

Fee for Structural Audit Services as per the above mentioned Scope shall be as per Fee Schedule mentioned below.

The GST as applicable at the time of billing (At Present @18%) shall be charged extra at the instance of each bill. Any new Tax or variation in present GST or any other new tax structure levied by the Government of India or any Statutory body shall be reimburse to us as applicable.

TDS shall be deducted by client at source from the payment and TDS certificates shall be provided by the Client to STE.

E.2 Fee Schedule :

Fee stage are as follows :

DESCRIPTION	FEE
1. Mobilization Advance / Retainer Fee	Rs. 15,00,000/- (Rupees Fifteen Lac Only)
2. Step -1 : On Site Visit, Visual Inspection & Submission of Visual Inspection Report	Rs. 1.00/- Per Sq.ft. of Total Built-up Area on pro-rata basis
3. Step -3 : on conducting NDT & submission of NDT Report	To be decided after Site Visit Report/ Shall be done by Third-Party & Charged as per Actuals on pro-rata basis.
4. Step - 4 : Study of available Model, drgs/documents, E-Tab Re-Modeling and Submission of Structural Audit Report	Rs. 3.00/- Per Sq.ft. of Total Built-up Area on pro-rata basis
5. Step - 5 : On Submission of Repairs & Retrofitting Drawings / Documents / Estimates etc	Rs. 3.00/- Per Sq.ft. of Total Built-up Area on pro-rata basis
6. Step - 6 : For Project Management Consultancy Services (PMC)	Offer shall be submitted later (if required by Client)



F. PAYMENTS CLARIFICATIONS AND TERMS & CONDITIONS:

- Payments would be made within 07 days from the date of Invoice and all payments are in favour of **Save Techno Engineers** payable at Gurugram, Haryana. If the Payment is not made within 07 days, STE has right to stop their scope of work till the time payment has been made.
- Retainer Fee (Advance) shall be paid along with the Work Order.
- In case only a part of the project is continued beyond any stage or the project is abandoned at any stage, the Client shall pay the fee upto that Stage due on completion of that stage our Team has commenced & is in progress at that point at time.
- In the event Client required to perform services that are beyond those outlined in the above mentioned Scope of Services in B & D, then for such additional services, both parties shall negotiate a lump sum fee and scope of services for the same at the appropriate time before commencement of such additional services.
- The proposed fee includes travel (Site only) costs / accommodation costs and expenses generated for this project. If any outstation visits (Outside Gurgaon & within India) then our charges will be Rs. 15,000/- per day per person + Travelling (Business class), Boarding & Lodging, arrangement for local transportation etc. shall be provided / paid by Client at the time of visit only.
- STE shall submit their all Reports, Drawings & Documents in soft copy only via mail. Hard copies if required shall be chargeable basis (Actual printing + binding + Postage cost).
- All statutory taxes / duties / levies prevailing at the time of invoicing will be borne by the Client.
- Preparation of Analytical Models are not in STE Scope, if required STE will charge the Fee extra on mutual consent.

G. NOT IN SCOPE :

- a) Audit of Electrical works, Plumbing, Sanitary & Irrigation works, Fire Fighting / Fire Detection works, Landscaping & External Development works, Lift works etc.
- b) Any kind of statutory compliances / Survey etc.
- c) Any other then the scope mentioned above.



H. OTHER TERMS & CONDITIONS :

- PMC Services Scope & Fee shall be shared separately after approval by Client.
- Obtaining any statutory approvals, from Govt. / other agencies shall be responsibility of Client (If any).
- In the event of sufficient cause, our professional association may be terminated by either party upon prior notice (minimum 01-month notice) being given to the other party and provided that the part of the fees due the services already rendered are paid to STE.

We hope that the offer meets your acceptance and in line of your requirement.

We look forward to work with you for your project.

Thanking you,

For **M/s Save Techno Engineers**

(Mr. Vineet Lochan Gupta)
Empanled ID : TPR-471A-2023

Accepted :

For **M/s Ansal Properties & Infrastructure Ltd.**

(Mr. Jalesh Kumar Grover)

Project - Structure Due Diligence / Structural Safety Audit					
S. No.	Name of Project & Location	Client	Type of Building	Built-up area (in Sq.Ft.)	No. of Storey
1	DLF Centre at Parliament Street, New Delhi	DLF Ltd.	Office Building	2,00,000	3B + G + 10
2	DLF Emporio Mall at Vasant Kunj New Delhi	DLF Emporio Ltd.	Mall Building	6,44,481	3B + G + 4
3	DLF Promenade Mall at Vasant Kunj New Delhi	DLF Promenade Ltd.	Mall Building	7,69,111	1B + G + 4
4	IFCI Tower at Nehru Place, New Delhi	IFCI Limied	Office Building	2,48,556	2B + G + 18
5	ICICI Bank Ltd.at NBCC Tower, Lodhi Road, New Delhi	ICICI Bank Ltd.	Office Building	58,000	2B + G + 5
6	Escorts R & D Centre, Faridabad, Haryana	Escorts Ltd.	Office Building	-	-
7	Parar Irene, Sector-70A, Gurgaon	Through Office of District Tower Planner (Enforcement) (DTP) Gurugram, Haryana Client : Paras Buildtech Pvt. Ltd	Residential Building	9,40,000	2B+G+22 (7 Towers)
8	Spaze Privy, Sector-72, Gurgaon	Through Office of District Tower Planner (Enforcement) (DTP) Gurugram, Haryana Client :Spaze Towers Pvt. Ltd	Residential Building	10,83,551	1B+G+18 (9 Towers)
9	The Peaceful Homes, Sector-70A, Gurgaon	Through Office of District Tower Planner (Enforcement) (DTP) Gurugram, Haryana Client : Advance India Projects Ltd.	Residential Building	10,22,760	2B+G+30 (4 Towers)
10	Central Park-2 Bellevue, Sector-48, Gurgaon	Through Office of District Tower Planner (Enforcement) (DTP) Gurugram, Haryana Client :Central Park (Sweta Estates Pvt. Ltd.)	Residential Building	9,82,544	1B+G+18 (9 Towers)
11	Sanskar Jyoti School at Sector – 89, Gurgaon	Orris Infrastructure Pvt. Ltd.	Institutional Building		-
12	Office Building at DIAL, Asset No.7, IGI Airport, Delhi	JLL	Office Building	3,00,000	3B + G + 7
13	Office Building at A-206, Sector-63, Noida	JLL	Office Building	1,37,000	1B + G + 2
14	Office Building at Electronic City, 2nd Phase, Bangalore	Karam Chand Thapar & Bros (Coal Sales) Ltd.	Office Building	1,25,000	1B + G + 4
15	Shi Ram Theater of Performance Arts, Mandi House, Delhi	Indian National Theatre Trust	Institutional Building	31,641	1B + G + Mezzanine + 2 + Terrace

S. No.	Name of Project & Location	Client	Type of Building	Built-up area (in Sq.Ft.)	No. of Storey
16	DLF Cyber City Building No. 1 - I T Building (Ericsson Forum) at Gurgaon	DLF Ltd. (Through Edifice Consultants Pvt. Ltd.)	Office Building	2,00,000	3B + G +6
17	DLF Cyber City Building No. 2 - I T Building (Cyber Greens) at Gurgaon	DLF Ltd. (Through Edifice Consultants Pvt. Ltd.)	Office Building	9,00,000	Block- A : 3B + G +10 Block- B : 3B + G +14 Block- C : 3B + G +18 Block- D : 3B + G +14 Block- E : 3B + G +10
18	DLF Cyber City Building No. 3 - I T Building (Infinity Tower) at Gurgaon	DLF Ltd. (Through Edifice Consultants Pvt. Ltd.)	Office Building	13,00,000	Block- A : 3B + G +8 Block- B : 3B + G +7 Block- C : 3B + G +11
19	DLF Cyber City Building No. 5 - I T Building (Epitome) at Gurgaon	DLF Ltd. (Through Edifice Consultants Pvt. Ltd.)	Office Building	20,00,000	Block- A : 3B + G +21 Block- B : 3B + G +18 Block- C : 3B + G +21
20	DLF Cyber City Building No. 6 - I T Building (Trio SEZ) at Gurgaon	DLF Ltd. (Through Edifice Consultants Pvt. Ltd.)	Office Building	9,00,000	Block- A : 3B + G +8 Block- B : 3B + G +10 Block- C : 3B + G +14
21	DLF Cyber City Building No. 7A - I T Building at Gurgaon	DLF Ltd. (Through Edifice Consultants Pvt. Ltd.)	Office Building	2,00,000	Block- A : 3B + G +6
22	DLF Cyber City Building No. 7B - I T Building at Gurgaon	DLF Ltd. (Through Edifice Consultants Pvt. Ltd.)	Office Building	2,00,000	Block- B : 3B + G +7
23	DLF Cyber City Building No. 8 - I T Building at Gurgaon	DLF Ltd. (Through Edifice Consultants Pvt. Ltd.)	Office Building	15,00,000	Block- A : 1 B + G +5 Block- B : 1 B + G +8 Block- C : 1 B + G +15
24	DLF Cyber City Building No. 9A - I T Building at Gurgaon	DLF Ltd. (Through Edifice Consultants Pvt. Ltd.)	Office Building	7,50,000	3B + G +15
25	DLF Cyber City Building No. 9B - I T Building at Gurgaon	DLF Ltd. (Through Edifice Consultants Pvt. Ltd.)	Office Building	7,50,000	3B + G +15
26	DLF Cyber City Building No. 10 - Building at Gurgaon	DLF Ltd. (Through Edifice Consultants Pvt. Ltd.)	Office Building	22,00,000	Block- A : 3 B + G +5 Block- B : 3 B + G +12 Block- C : 3 B + G +17
27	DLF Cyber City Building No. 14 - I T SEZ (IQ SEZ) Building at Gurgaon	DLF Ltd. (Through Edifice Consultants Pvt. Ltd.)	Office Building	20,00,000	Block- A : 3 B + G +9 Block- B : 3 B + G +16 Block- C : 3 B + G +18 Block- D : 3 B + G +19

02nd September, 2024

To,

M/s Ansal Properties & Infrastructure Limited
IP Registration No. IBB/IPA-001/IP-P-02035/2020-21/13122

Kind Attn: Resolution Professional (Mr. Jalesh Grover)

Subject: Fees Proposal for Structural Audit of Ansal API Manesar Towers A,B,C, D, L,M, N and P

Dear Sir,

Thank you very much for inviting us for the proposal on the structural audit of Audit of Ansal API Manesar Towers A,B,C, D, L,M, N and P. We are pleased to inform you that we are ready to associate with you in this project on the following terms and conditions:

Scope of Works for Structural Audit:

Physical Audit:-

- Site visit and Visual Inspection of site.
- Following Non Destructive Tests shall be performed to determine the condition of RCC and Reinforcement for existing 8 Towers with basements, EWS, Club, Nursery School & Convenient Shopping.
- **NDT Requirement:-**
 - Rebound Hammer test** to determine the grade of concrete in columns, beams, slabs & staircase 550 nos.
 - Ultrasonic Pulse Velocity Test** to determine the compressive strength of the concrete 400 nos.
 - Carbonation Test** To access the penetration depth of carbonation in RCC – 200 nos.
 - Half Cell Potential** to access the corrosion of reinforcement – 150 nos.
 - Core Cut; To** determines the Compressive strength and density of Concrete 70 nos.

Note.

- It is required from your side to provide helpers / laborers to chip the plaster / POP or any stone cladding on the concrete surface at all selected locations to verify the grade of concrete and rebar locator.

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- Excavation and demolishing to be done from your side for exposing the foundation.
- Besides this two helpers shall be provided during physical testing of structural members.
- To provide support system such as stool / ladder to conduct the non destructive test in roof beam.

Professional Fee:

Fees for conducting the NDT tests are as follows:-

Rebound Hammer test	= 550 nos. @ Rs.250/- per nos. = Rs.1,37,500/-
Pulse velocity test	= 400 nos. @ Rs.500/- per nos. = Rs. 2,00,000/-
Carbonation test	= 200 nos. @ Rs.400/- per nos.= Rs. 80,000/-
Half Cell Potential test	= 150 nos. @ Rs.600/- per nos. = Rs. 90,000/-
Core cut test	= 70 nos. @ Rs.4500/- per nos. = Rs.3,15,000/-
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On Submission of test result report = Rs. 35,000/-

Total for conducting the NDT test= = Rs.8,57,500/-

(Rupees Eight lacs fifty seven thousand five hundred only)

IGT @ 18 % or as applicable shall be paid extra.

Deliverables:

- 1) NDT test results.
- 2) Comprehensive Structural Audit Report.

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Payment terms and condition:

- 1) Advance on receipt of LOI. : 30% of total fees.
- 2) After completion of visual inspection and completion of conducting of NDT tests at site : 30% of total fees.
- 3) After submission of NDT Test results. : 20% of total fees.
- 4) After issue of comprehensive structural audit report. : 20% of total fees

We have offered you our most competitive offer, for any further clarification please feel free to call undersigned.

Thanking you and assuring best of our services always.

Yours truly,
(Dr. Maqsd E Nazar)

